



Local Review Body Appeal

REVIEW STATEMENT



Application 23/01388/P
Erection of Furniture Making Studio (Class 4) and Associated Works
Bolton Muir Wood, Gifford, East Lothian

MARCH 2024

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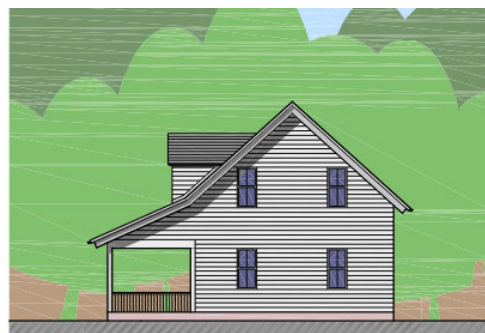
- *Application 23/01388/P for the creation of a fine furniture workshop at Bolton Muir, just outside Gifford, has the full support of the Council's Economic Development Service, the local Community Council, a number of letters of support and NO objections.*
- *The proposals represent a **unique opportunity** to support a specialised fledgling rural business, closely linked to the world-renowned Chippendale International School of Furniture and located on a **previously developed brownfield site** to the west of Gifford.*
- *The building would appear like many agricultural buildings in the countryside, would generate very few daily vehicle trips and seeks to remove just 9 trees within the context of the many thousands of trees that form Bolton Muir Wood. The previous permission for holiday accommodation would have seen totally alien 'New England' type buildings being introduced to the site with much higher ridge lines.*
- *This is a cleared site; there will be very little impact on the existing biodiversity of the wider site whilst the applicant owns a much larger area of woodland at Bolton Muir that he intends to manage proactively to ensure an overall net gain in the quality of the local biodiversity. He will look to work with East Lothian Council to achieve this aim.*
- *The policies of NPF4 and the Local Development Plan should be looked at as a whole and it is our conviction that the overall conclusion should be to support this unique and high quality opportunity.*
- *The Local Review Body has the ability and duty to look afresh at the application, not necessarily constrained by a strict interpretation of planning policy and not bound by the initial decision of the planning officer.*
- *It is our opinion that there has been an **overly restrictive interpretation of the local and national policies** and that the overall benefits of the development far outweigh any minor deviations from policy. This is also the conclusion of the Council's own Economic Development team who overwhelmingly support the proposed development.*

Introduction

1. **apt planning & development** has prepared this Review Statement on behalf of **Dr Iain Stirling, Founder of Chapelhill Fine Furniture** with regards to application **23/01388/P** seeking planning permission for the erection of a furniture making workshop on previously developed land at Bolton Muir Wood approximately 2 kilometres to the west of Gifford.

Site Characteristics, Background And Planning History

2. The application site is an area of vacant land, measuring some 0.15 hectares in area, positioned on the south side of the B6355 (Gifford to East Saltoun) public road, opposite the junction of the Eaglescairn to Bolton public road with the B6355. The site is bounded to the west by woodland and to the south and east by agricultural land. To the north, on the opposite side of the B6355 public road, are areas of woodland and a house and its garden.
3. The site was formerly occupied by a small rectangular shaped single storey house (built *circa* 1954) with walls of timber boarding and a pitched roof clad with cedar shingles. Parking for this house was on the verge of the public road, opposite the junction. In 2002, the existing house on the site was demolished. The site is served by an existing gated vehicular access from the B6355 public road and there is an access track which runs through adjacent woodland to the site.
4. Subsequently, planning permission in principle (Ref: 11/00901/PP) was granted in 2012 for the erection of three holiday homes on the site. Furthermore, planning permission (Ref: 15/00169/AMC) was granted for approval of matters specified in conditions of planning permission 11/00901/PP for the erection of three 3-bedroom holiday homes and associated works on the site. Development was never started and planning permissions 11/00901/PP and 15/00169/AMC have since lapsed.
5. These three holiday homes were said to be in a 'New England' style not relating to anything seen in the East Lothian countryside, quite alien in their appearance. They would have been 7.3m to their ridge height as opposed to the 5.2m ridge height of the proposed workshop which would be similar in appearance (better than most) to other agricultural style buildings around East Lothian.



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6. Application **23/01388/P** was validated on 21st November 2023.
7. The application followed an earlier application (22/01217/P) which was withdrawn. The fresh application shows a 40% smaller building on the same application site. This was following the applicant's review of the space required for the workshop and enabled further time to address planning policy implications as part of the new submission.
8. The following supporting information was prepared and is submitted as part of this appeal:
 - a. A planning support statement was lodged addressing planning policy matters, numerous letters of support from fellow woodworkers and other material considerations;
 - b. TD Trees provided a tree survey;
 - c. SWECO prepared a Transport Statement looking at road safety and capacity as well as the access to the site.
9. As the officer report confirms, there were **no objections** to the applications, whilst a number of letters of support were received including one from the **Humbie, East & West Saltoun and Bolton Community Council**.
10. The Council's own **Economic Development Service** team also supported the proposals citing;
 - a. *the creation of up to 10 jobs would deliver 14% of the current annual job target for the Haddington and Lammermuir area and provide a size of unit that is in highest demand in the County;*
 - b. *The proposal will support a number of local businesses/self-employed persons to grow their activity in East Lothian, including supporting the viability and growth of another East Lothian Business (Chippendale International School of Furniture), and will continue to grow the area's reputation for high quality products and services in this sector;*
 - c. *We concur with the applicant's view that the size and type of unit proposed would not be available on the market within East Lothian and could only be secured through a new development, and that a rural location is particularly suitable;*
 - d. *The proposed site has previously been developed and has recent planning history that suggests development in this area can be supported;*

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- e. *The proposal contributes positively to the policy agendas set out in relation to rural areas within NPF4, specifically sustainability and transition to net-zero, supporting 20-minute neighbourhoods (people can meet most of their day-to-day needs within a 20min walk or cycle), targeting economic investment and building community wealth (cooperative working, cost sharing, and the development of local supply chains) and the development of local hubs (places can be resilient and self-supporting).*
11. This proposal also supports the Council's strategic goals and objectives in relation to the local economy:
 - a. *To increase the proportion of East Lothian residents working in and contributing to East Lothian's economy.*
 - b. *To increase the number of businesses in East Lothian with growth potential.*
 - c. *To be the best place in Scotland to set up and grow an innovative business.*
 - d. *To explore and develop regional opportunities to support economic development and to encourage study, work and spend in East Lothian.*
 - e. *To provide high quality employment pathways for East Lothian's workforce.*
 12. To become Scotland's most sustainable and digitally-connected local economy.
 - a. *Compliance with East Lothian Economic Development Strategy;*
 - b. *Development of a brownfield site with a planning history supporting development;*
 - c. *Job creation and job security through linkages to Chippendale International School of Furniture;*
 - d. *Appropriateness of the use for a woodland setting;*
 - e. *Sustainable construction methods;*
 - f. *No impact on any neighbouring uses/residents;*
 13. Disappointingly, this application was refused on the 15th January 2024. Five reasons for refusal were given and we address each of these below. Any appeal to the local review body must be lodged within three months of the determination of the application. As such these appeals have been lodged by the deadline of the 14th April 2024.

Reason For Refusal 1

The proposed furniture making studio building is a business use that is not directly related to agriculture, horticulture, forestry, infrastructure or countryside recreation. It is therefore a business use that does not have an operational requirement for this countryside location. Neither is it located on an area identified for business use in the LDP and is not a site that is an area identified as employment land. Therefore the proposal conflicts with Policy 26 of NPF4 and Policy DC1 of the adopted East Lothian Local Development Plan 2018.

14. As was made clear in the supporting information, the site is a previously developed site in a countryside location with a lapsed planning permission for three holiday lodges.
15. The proposed use is for a furniture making studio for a start-up businesses closely aligned with the Chippendale International School of Furniture also located just outside Gifford. It is a rural business utilising sustainable rural materials and creating important rural employment.
16. Whilst the proposed use does not fit into the categories identified in policy DC1, there is a clear locational relationship between the proposals and the location in creating a **'centre of excellence'** for the furniture making industry.
17. To say that furniture making is not directly related to forestry is untrue. There is a clear historic connection between the forestry and furniture-making industries: the former provides materials for the latter, and traditionally, furniture makers have been located in, or adjacent to, woodland. This point was ably made in a recent letter regarding to the East Lothian Courier *vis. "Planning officials could not do better than take a lesson on the connection between forestry and furniture making by visiting the Real Wood Studios in the Scottish Borders..."*.
18. We have provided further justification with regards to Policies 26 of the NPF4 and DC1 of the East Lothian Local Development Plan in our planning support statement. The aim of Policy 26 is **'to encourage, promote and facilitate business and industrial uses'** which this application clearly does.
19. **Policy 26 of NPF4** further seeks to ensure that **'investment in the business and industrial sector contributes to community wealth building'**. This is an excellent example of local community wealth building. Capitalising on the presence of The Chippendale School, the proposed workshop would enable the continued development of furniture making businesses in the Gifford area, creating employment and encouraging graduates to use their skills as a catalyst to establish their own business in the vicinity whilst maintaining and exploiting the proximity to and relationships with the School.

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20. Additionally, it is common for graduates to work at the school as part-time tutors. Having their work premises sited close to the school allows them to continue in these roles in addition to nurturing their own businesses, and helps to ensure continuity of tutors employed by the school.
21. Comment is made by the Planning Officer that there has been no alternative site assessment looking at suitable accommodation available elsewhere in East Lothian;
 - a. First, the response from the Economic Development Service clearly states that they agree that there is no suitable accommodation available. Given that they would be the consultees on any alternative site assessment, it would appear to be a waste of time, money and effort to undertake such an assessment when the Council team employed to assess the work has already concluded that no suitable alternative exists;
 - b. Second, owning and developing the site enables the applicant to invest and plan for the long-term, initiate community wealth-building by providing purpose-built premises for start-up small businesses specialising in the production of high-end furniture and following on from their studies in Gifford. This will genuinely sow the seeds of a centre of excellence for furniture making in East Lothian which will increase the profile of the area, and providing a valuable alternative to the established golf and tourism sectors;
 - c. Third, as noted in the application's supporting statement, considerable investment is required to support a furniture maker – both financially and in terms of space – and consequently appropriate properties are very rare, and particularly so in East Lothian. A balance needs to be found between creating an unnecessarily large and expensive building and a building that is too small to support enough businesses to be economically viable. It is considered that the size of the building proposed is an ideal size to support a small group of furniture makers – something which is not possible financially at the commercial rates demanded by available industrial units such as those at Gateside in Haddington.
22. Also in response to Policy 26 and addressed in response to the 2nd reason for refusal, we do conclude that this already developed and cleared site, on the very edge of the existing woodland, is a suitable site for this proposal with no significant or decisive detrimental impacts resulting from the development.

Reason For Refusal 2

The proposed furniture making studio building would, in the views of it from the B6355 public road and beyond from the junction of the minor road from Eaglescairnie, appear as a harmfully dominant and intrusive feature within its landscape setting due to its large size and scale. By virtue of its architectural form, size, scale, proportions, massing and position, the proposed furniture making studio building would not be in keeping with, but rather would significantly alter, the natural landscape character of this part of the East Lothian countryside, contrary to Policies 14 and 29 of NPF4 and Policies DC1, DP1 and DP2 of the adopted East Lothian Local Development Plan 2018.

20. Policies 14 and 29 of NPF4 and Policies DC1, DP1 and DP2 are addressed as part of the supporting information lodged as part of the application.
21. The statement that the proposed studio would be a 'harmfully dominant and intrusive feature' completely ignores that the proposed building would be largely hidden from public view. The building is only visible for a fleeting moment from a very short stretch of road as you head west out of Gifford.



**View looking south towards the appeal site from the Eaglescairnie junction.
The Proposed building would be well-screened from external views.**

22. We have never sought to deny that there would be an element of visual impact but the majority of views are well-screened from all directions either by adjacent woodland or the beech hedge at the edge of the public road which is around 7 metres in height and makes the site almost invisible. The building will appear as a modest sized agricultural building which will settle into its setting as the timber cladding weathers and the additional planting grows. Other nearby agricultural buildings (such as those at Upper Bolton) are often many times the length and height of the proposed workshop and are metal clad and have no screening whatsoever.

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23. To state that the proposals would ***'significantly alter the natural landscape character'*** is dramatically overstating the minimal impact of one modest building set within a wooded context and only visible from a relatively quiet 'B' road.
24. The site previously accommodated a house, before planning permission was granted for three holiday lodges. A degree of visual impact and change was already accepted and to state that the proposals would result in a significantly increased negative impact is an exaggeration of the real situation.
25. In the context of its countryside location, it would appear as one of many agricultural buildings in the East Lothian countryside. The appearance is not overtly industrial and the areas of parking/hardstanding would be hidden from public view. Coupled with the fact that this is a furniture workshop, located in a woodland setting lends a degree of authenticity to the proposals, working with the natural resources which surround it.



26. As the images above show, the East Lothian Countryside accommodates a range of (relatively modern) agricultural buildings, many of which are prominent from public spaces/roads.
27. The proposed building at Boltonmuir would be largely 'hidden' from public view and would appear as just another agricultural type building with the proposed simple timber-clad built form, with low eaves, being very similar to sheds used for animal husbandry (many pig and chicken sheds are timber clad) and other incidental farming uses that are familiar and inconspicuous features of this landscape. The proposed workshop would be no different and in many ways, far better than most.



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28. In terms of Policy 14, *The Six Qualities of A Successful Place* are unlikely to apply to such a rural situation and there are no neighbouring properties impacted by the proposals. The proposals should be assessed in the context of the design and setting and we contend that this is an appropriate design for its form, function and location and akin to many other rural agricultural and business units. The proposals do not conflict with the provisions of Policies 14 and 29 of NPF4 and Policies DC1, DP1 and DP2 of the adopted East Lothian Local Development Plan 2018.

Reason For Refusal 3

It has not been demonstrated that the proposals would not have a harmful impact on the Bolton Muir Local Biodiversity Site or the ecology of the ancient woodland, contrary to Policies 3 and 9 of NPF4 and Policies NH3 and NH5 of the adopted East Lothian Local Development Plan 2018.

29. As stated in the planning support statement, this previously developed cleared site has limited biodiversity value whilst the applicant and site owner will enhance the remainder of the site through proactive and careful management of the residual woodland. The site has existed in a cleared state for several years and appears as a mixture of exposed soil, rubble and hardcore aggregate and as such it is not “re-naturalised”.
30. The very nature of the proposed use of the site, to accommodate small fine furniture making businesses will align with the woodland setting whilst the applicant has every intention of managing the surrounding woodland (within his ownership) to materially enhance the environment and biodiversity of the site.
31. The applicant would be happy to accept a condition of planning to work with the Council’s Biodiversity officer to agree on a **Biodiversity Enhancement Plan** alongside the development. The proposals itself will have very little impact on the local biodiversity given that it is already a cleared site.
32. There is minimal tree removal proposed, but in the context of the wider woodland setting, this will have a negligible, if any, impact on the overall biodiversity (or woodland setting) of the site. As was noted in the application’s supporting statement, the applicant has already begun a program of tree-planting in the adjacent woodland to in-fill sites where non-native plantation conifers were previously removed.
33. We did not address Policy 9 as part of the planning support statement. The intent of Policy 9 is as follows;

‘to encourage, promote and facilitate the reuse of brownfield, vacant and derelict land and empty buildings and to help reduce the need for greenfield development.’
34. The policy sees to direct development

‘to the right locations, maximising the use of existing assets and minimising additional land take.’

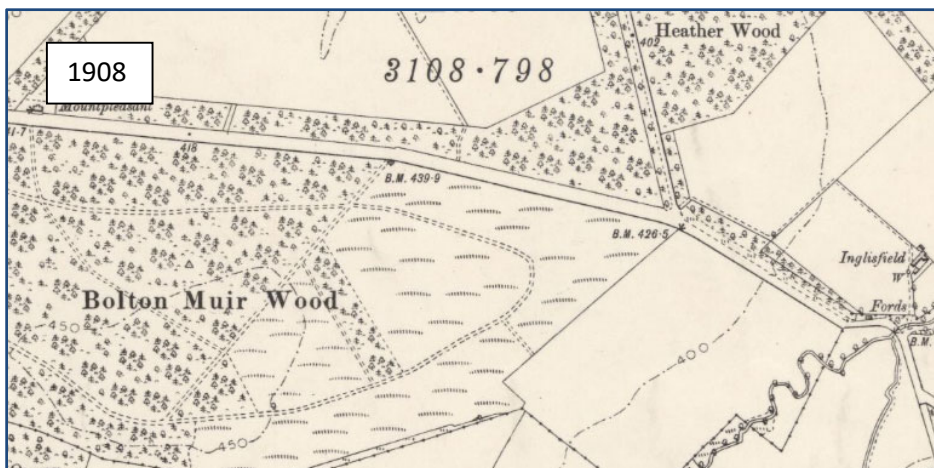
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35. The site at Bolton Muir seeks to create a specialist furniture workshop, in close proximity to the world renowned Chippendale International School of Furniture, and reuses a previously developed site. The definition of '*appropriate rural uses*' is overly restrictive in this instance especially when each application is to be determined on its own merits. The unique set of circumstances justify planning permission being granted.
36. When specifically addressing Policies NH3 and NH5 of the East Lothian LDP, it is noted that the application site is a previously developed and cleared site. Its value as part of a local biodiversity site has already been significantly compromised. **Moreover, the applicant is eager to work with the Council to agree a proactive Biodiversity Enhancement Plan** to make best use of the residual woodland within his ownership ensuring a net gain in the overall biodiversity value. The applicant has previously built and installed several owl and bat boxes in East Lothian woods and intends to do the same at Bolton Muir.
37. Development at Bolton Muir would not adversely impact on the setting or biodiversity of the site whilst its proactive management could ensure a positive outcome and overall biodiversity net gain.

Reason For Refusal 4

The proposals would result in the loss of a number of trees which positively contribute to the landscape character of the area and form part of an area of ancient woodland of Bolton Muir Wood, contrary to Policy 6 of NPF4 and Policy NH8 of the adopted East Lothian Local Development Plan 2018.

38. **Policy 6 of NPF 4** was specifically addressed in the supporting statement for this application. These proposals will not impact on the overall quality, stature and character of the existing woodland at Bolton Muir whilst the improvement of the remainder of the woodland within the applicant's ownership specifically aligns with part (a) of Policy 6 '**development proposals that enhance, expand and improve woodland and tree cover will be supported**'.
39. The classification of Bolton Muir Wood as Ancient Woodland is based on the 1st edition Ordnance Survey maps of c. 1860, and it is this that was used latterly for the assignment of Local Biodiversity Sites.
40. However, Ordnance Survey maps from later years show that the eastern part of the wider Bolton Muir Wood had been clear-felled by 1908 and was not replanted until the early 1950s. Thus, Bolton Muir Wood should correctly be classified as being of Long Established Plantation Origin – and this is how it is classified in NatureScot's Ancient Woodland Inventory (Scotland).



41. As the image below illustrates, the actual application site has been free of woodland since at least the 1950s as it was around this time that the building of a residential property and its garden took place on the site. Indeed, the Forestry Commission's more detailed National Forest Inventory 2022 explicitly shows that the application site is not part of their inventory of Scottish woodland.

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42. The site has been identified by ELC planners as being appropriate for limited development whilst maintaining and enhancing the existing woodland (as above). Given that this is a cleared site, there will be no fragmentation of the existing woodland area (which will remain to the west of the development site).
43. In total, it is recommended that 9 trees are removed mainly to ensure adequate and safe access. Mitigation planting will be undertaken and these removals will not impact on the overall quality or character of the wider Bolton Muir woodland.
44. With specific regard to **Policy NH8 of the East Lothian Local Development Plan**, none of the trees identified for removal ***make a significant positive contribution to the setting, amenity of the area*** with an emphasis on the word '***significant***'. We do not contest for one moment that all trees make a positive impact but in the context of this brownfield site, the potential positive rural development and economic impacts, the relationship with the Chippendale School the removal of a small number of trees is acceptable, none of which are significant in the wider context of the Bolton Muir woodland.
45. Furthermore, the mitigation planting in the adjacent woodland will enhance biodiversity by replacing non-native plantation conifers with a range of native British hardwoods such as oak and beech. On the application site itself, gaps in hedges and landscaping will feature smaller growing species such as blackthorn, hazel and rowan.

Reason For Refusal 5

The width of the existing vehicular access serving the site is not sufficient to accommodate two-way vehicular movements and the existing visibility splay does not comply with the minimum requirements set out in the Council's parking standards, contrary to Policy 13 of NPF4 and Policies T1 and T2 of the adopted East Lothian Local Development Plan 2018.

46. Policy 13 of NPF4 and Policies T1 and T2 of the Local Development Plan were addressed in the planning support statement.
47. As the Transportation Statement states, there will be very few vehicular movements on an hourly/daily basis, essentially those working within the workshop, arriving for work and leaving at the end of the day. This is well within the range of allowing a variation/relaxation with regards to the sight-lines available at the entrance to the site.
48. Typical working hours are 9 am until 5 pm, Monday to Friday, and the workers would be familiar with the site and local road network. For comparison, the holiday makers that would be expected to use the previously approved three holiday homes would be strangers to the area and would be using the access throughout the day and for the whole week.
49. It will not be a venue that encourages public access (it will not be a shop-window for the furniture) and deliveries will be irregular and infrequent (perhaps monthly depending on material requirements, but these are not volume businesses, with furniture workers typically working on a single piece over a period of time).
50. Furthermore, it is in the interest of the furniture workers to work cooperatively and reduce their delivery costs by combining their orders and minimising frequency.
51. With regards to the potential risk at the entrance to the site, the likelihood of there being two large vehicles arriving at the site at the same time is almost zero. The proposals do not require frequent deliveries and the chance of any vehicle leaving the site as another enters will be extremely low and certainly not to the extent of it being a material consideration in the determination of this application or a genuine, credible safety concern.
52. The Transportation Survey counted approximately 460 vehicles per day travelling in both directions. In a 12 hour day that amounts to one vehicle in a given direction around every minute and a half. This will not be a busy site in any way shape or form and access will not be problematic due to either the volume of departures or the traffic on the public road.

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53. As mentioned throughout the supporting information and this appeal submission, this is a relatively unique proposal building on the proximity to The Chippendale School, the owner of the site being a recent graduate and seeking a site to create a centre of excellence for furniture making in East Lothian, supporting his own fledgling business and that of a small number of others.
54. The Economic Development response acknowledges that there are not suitable alternative options and especially when considering the Chippendale School link. This is a previously developed site, with a hail and ride bus service passing the entrance and being within cycle access of Haddington and Gifford and other nearby settlements.

Visibility

55. Following a site visit and a review using OS mapping, the Transport Statement confirms a visibility of “x” = 4.5metres x “Y” = 160metres can be achieved in both directions, with a “Y” distance of 215m achieved to the left of the site access.
56. It is important to note that the three holiday properties were approved on the basis of visibility splays of 160m in either direction. It is likely they would have been far busier and unpredictable in how they were used and accessed.
57. It is anticipated that the development could result in a maximum number of 3 vehicles per hour with these vehicles likely to be private cars or similar. In terms of HGV movements, this is likely to be limited to weekly refuse collection, which would be picked up kerbside on the B6355, therefore no requirement to enter the site, as is the case for many properties that sit adjacent to the main rural roads throughout East Lothian. It is expected that all deliveries will be made using LGVs.
58. Whilst the current access is gated, it is operational and could be used to access the land at their leisure, any time of the day and with any type of vehicle. An accident review confirms there is no accident history related to the existing access. Regardless, the Transport Statement sets out a number of potential measures to support a reduced traffic speed on the B6355 on approach to the junction.

Junction Geometry

59. It is likely that the vast majority of vehicles generated by the development will be private cars or similar. With respect to larger vehicles, it is anticipated that refuse collection will be undertaken once a week (by one vehicle) and will not enter the site. Deliveries/other servicing is anticipated once a month using goods vans (LGVs) rather than HGVs.



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60. Taking this into account it is highly unlikely that two larger vehicles will meet at the junction at the same time. Notwithstanding this, it is proposed to increase the width of the access road to 5.5metres, extending 10metres from the stop line, thus ensuring two vehicles can pass unimpeded. In addition, when a delivery vehicle visits the site, it is anticipated that this will be a scheduled delivery to the workshop and an operative will be available to assist in controlling access to the development as required.

Summary

58. Application 23/01388/P for a furniture making workshop at Bolton Muir Wood was validated in November 2023 and followed the withdrawal of a similar application earlier in the year. The workshop is specifically to enable graduates of **The Chippendale International School of Furniture** to establish businesses once leaving the school, also located on the outskirts of Gifford.
59. The Chippendale School is able to offer workshop accommodation for up to three years post-graduation after which woodworkers must then find their own premises. Typically commercial workshop/industrial space is poorly located and hugely expensive for specialist start-up businesses.
60. On this basis, the applicant Iain Stirling of Chapelhill Fine Furniture purchased the site at Bolton Muir specifically because;
- it had a planning history permitting development yet specifically excluded residential properties;
 - it was located in East Lothian and could accommodate a suitably designed and sized building; and crucially;
 - was close to The Chippendale School, creating a local, and world-renowned, centre of excellence in East Lothian; and
 - would create up to 10 jobs for locally based woodworkers/furniture makers closely aligned with The Chippendale School .
61. We acknowledge that it is not a use fitting the criteria of Policy DC1, but that the opportunity to generate rural employment, utilising the relationship with The Chippendale School, on a previously developed site and for a workshop working with natural and sustainable products would provide the justification for the policy to be used to support a local business.
62. There are no close neighbours and no unacceptable impacts. There would be only a few occupiers (up to 10) with a very low trip generation into and from the site.
63. **The Council's own Economic Development Service and the local Community Council are in full support. The owner of the neighbouring woodland plot immediately to the south-west of the site wrote a letter in support of the planning application. There were NO objections to the application.**

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64. Concerns over the loss of a small number of trees, impact on the rural landscape and biodiversity of the site are over-exaggerated for a previously developed cleared site on the very edge of the woodland area.
65. The proposed building will be largely invisible from public view and any glimpsed views from the Gifford to East Saltoun road would reveal just another agricultural type building in a rural setting and better designed and screened than many others. The planning permission for three holiday homes would have seen the introduction of three large 'New England' style properties, totally alien to the East Lothian vernacular and with significantly higher ridge lines.
66. There are few credible concerns about the development of the site and it is a genuine opportunity to create a unique rural business with links to the nearby Chippendale School.
67. The transportation concerns are significantly over-exaggerated. This will be a 'quiet' site in terms of trip generation and the previously permitted holiday accommodation was granted on the basis of 160m visibility splays in either direction. It does not seem credible that these standards are changed for a site with more predictable and fewer trips.
68. **This is a significant investment in East Lothian which will not only build a physical new asset but also the more intangible, but arguably more valuable, asset of community wealth. Cooperative working, knowledge-sharing, cost sharing, the fostering of local supply chains and the nurturing of new woodworkers will all be enabled by this development.**
69. It is our opinion that this is the type of development that East Lothian Council should seek to support in generating local employment opportunities for small scale businesses that would otherwise struggle to find appropriate accommodation; be lost to East Lothian; and probably not survive as viable businesses without appropriate purpose-built accommodation.

EAST LoTHIAN COUNCIL ECONOMIC DEVELOPMENT AND REGENERATION

PLANNING APPLICATION - ECONOMIC DEVELOPMENT RESPONSE

The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee and on the basis of the information provided. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.

POLICY BACKGROUND

The East Lothian Community Planning Economic Development Strategy 2012-22 was adopted by East Lothian Council on 9th October 2012 and the mid-term refresh was concluded December 2018. Economic development is a key priority for East Lothian and is at the forefront of The East Lothian Partnership Plan 2017-27. The Economic Development Strategy 2012 to 2022 is a reflection of the priority placed on economic development and acts as a guiding framework for future activities. The Strategy is being reviewed and renewed during 2023 and continues to be in effect during that process. It sets out clear strategic direction and is the foundation of the vision set out in the East Lothian Plan of:

Working in partnership to achieve an even more prosperous, safe and sustainable East Lothian, with a dynamic and thriving economy that enables our people and communities to flourish.

To help achieve the vision, *two major strategic goals* have been set:

- To increase the proportion of East Lothian residents working in and contributing to East Lothian's economy.
- To increase the number of businesses in East Lothian with growth potential.

The two strategic goals are underpinned by five key objectives:

- To be the best place in Scotland to set up and grow an innovative business.
- To be Scotland's leading coastal, leisure and food & drink destination.
- To explore and develop regional opportunities to support economic development and to encourage study, work and spend in East Lothian.
- To provide high quality employment pathways for East Lothian's workforce.
- To become Scotland's most sustainable and digitally-connected local economy.

In recognition for the need of economic land/commercial units throughout the county and the varying levels of demand/requirement the following tables identify preferred requirements for locations, serviced plots, office and units. The following tables have been developed from data gathered from the Business Base Survey undertaken in 2017.

| Table 1 - Preferred locations - area | % |
|---|----------|
| Haddington/Macmerry | 25% |
| Musselburgh | 25% |
| North Berwick | 23% |
| Dunbar | 15% |
| Tranent / Prestonpans | 5% |
| A1 corridor | 5% |

EAST LoTHIAN COUNCIL ECONOMIC DEVELOPMENT AND REGENERATION

| Table 2 - Land – serviced plots | % |
|--|-----|
| Land 0 - 0.25 acre | 48% |
| Land 0.26 to 0.50 acre | 22% |
| Land 0.51 to 0.75 acre | 13% |
| Land 0.76 to 1.5 acre | 17% |
| Land more than 1.5 acre - | 0% |

| Table 3 - Office – preferred size | % |
|--|-----|
| Office/unit 0 to 500 sq ft / 50 sq m | 38% |
| Office/unit 501 to 1,000 sq ft / 100 sq m | 12% |
| Office/unit 1,001 to 1,500 sq ft / 150 sq m | 8% |
| Office/unit 1,501 to 2,000 sq ft / 200 sq m | 12% |
| Office/unit more than 2,000 sq ft / 200 sq m | 30% |

| Table 4 - Units – preferred size | % |
|--|-----|
| Office/unit 0 to 500 sq ft / 50 sq m | 14% |
| Office/unit 501 to 1,000 sq ft / 100 sq m | 21% |
| Office/unit 1,001 to 1,500 sq ft / 150 sq m | 13% |
| Office/unit 1,501 to 2,000 sq ft / 200 sq m | 14% |
| Office/unit more than 2,000 sq ft / 200 sq m | 38% |

In addition to the Business Base survey 2017 an extrapolation of the six East Lothian area partnerships based on the percentage of working age population in each partnership area and the Strategy target to create 7,500 new jobs has produced the following result.

| Table 5 - %age job density | | | | | Target new jobs | ind units space required m2 | office space required m2 |
|-----------------------------------|------------------|--------------------------------------|---------------|-------------------------------|-----------------|-----------------------------|--------------------------|
| From area p/ship snapshots | Total population | % of working age population per area | actual number | % area for working population | 7,500 | 47 | 12 |
| Musselburgh | 24,998 | 67% | 16,749 | 28% | 2,064 | 97,007 | 24,768 |
| Dunbar | 13,337 | 62% | 8,269 | 14% | 1,019 | 47,893 | 12,228 |
| Haddington | 9,064 | 63% | 5,710 | 9% | 704 | 33,074 | 8,444 |
| North Berwick | 12,515 | 57% | 7,134 | 12% | 879 | 41,317 | 10,549 |
| Fa'side | 18,396 | 64% | 11,773 | 19% | 1,451 | 68,191 | 17,410 |
| Preston Seton Gosford | 17,540 | 64% | 11,226 | 18% | 1,383 | 65,018 | 16,600 |

Over the 10 year period of the Strategy the average number of new jobs which will need to be created in each area partnership to achieve the target are as follows:-

| Table 6 - Area Partnership jobs required to meet Economic Development Strategy target | Average jobs annually |
|--|-----------------------|
| Musselburgh | 206 |
| Dunbar | 102 |
| Haddington | 70 |
| North Berwick | 88 |
| Fa'side | 145 |
| Preston Seton Gosford | 138 |

EAST LoTHIAN COUNCIL ECONOMIC DEVELOPMENT AND REGENERATION

Planning application reference – 23/01388/P

Proposal - Erection of furniture making studio (Class 4) and associated works.

Location – Bolton Muir Wood Gifford East Lothian

Planning Officer – Neil Millar

Introduction

This proposal pertains to the development of a furniture making studio / local hub (Class 4 – 400msq) and associated works at Bolton Muir Wood, adjacent to Bolton Muir, approximately 2km from the centre of Gifford. Through its Business Gateway service, the Council has been supporting the applicant to develop their business plan for a local cooperative hub for the development of small furniture making and joinery / carpentry businesses. Proposed and supported by graduate furniture makers from the Chippendale International School of Furniture, also located at Gifford, the new facility will help grow East Lothian's reputation for quality artisan products and services. The proposed facility will increase local employment and business productivity and increase the capacity of the nearby furniture school to host graduates locally, retaining talent in the area.

ELC Estates comment required? – No

Economic Development Recommendation

The Economic Development Service supports the proposal set out in the above noted application.

Reason(s):

- The development of the class 4 business space (being a use which can be carried on in any residential area without detriment to the amenity of that area etc.) will support business development and employment growth in a primarily rural part of East Lothian and is unlikely to cause a nuisance.
- The number of jobs highlighted by the applicant would deliver 14% of the current annual job target for the Haddington and Lammermuir area and provide a size of unit that is in highest demand in the County.
- The proposal will support a number of local businesses / self employed persons to grow their activity in East Lothian, including supporting the viability and growth of another East Lothian Business (Chippendale School of Furniture), and will continue to grow the area's reputation for high quality products and services in this sector.
- We concur with the applicant's view that the size and type of unit proposed would not be available on the market within East Lothian and could only be secured through a new development, and that a rural location is particularly suitable.
- The proposed site has previously been developed and has recent planning history that suggests development in this area can be supported.
- The proposal contributes positively to the policy agendas set out in relation to rural areas within NPF4, specifically sustainability and transition to net-zero, supporting 20-minute neighbourhoods (people can meet most of their day-to-day needs within a 20min walk or cycle), targeting economic investment and building community wealth (cooperative working, cost sharing, and the development of local supply chains) and the development of local hubs (places can be resilient and self-supporting).

EAST LoTHIAN COUNCIL ECONOMIC DEVELOPMENT AND REGENERATION

This proposal supports the Council's strategic goals and objectives in relation to the local economy:

- To increase the proportion of East Lothian residents working in and contributing to East Lothian's economy.
- To increase the number of businesses in East Lothian with growth potential.
- To be the best place in Scotland to set up and grow an innovative business.
- To explore and develop regional opportunities to support economic development and to encourage study, work and spend in East Lothian.
- To provide high quality employment pathways for East Lothian's workforce.
- To become Scotland's most sustainable and digitally-connected local economy.

Response author: Jamie Baker, Service Manager, Economic Development

Date: 5th December 2023

VIEWPOINTS

Courier comment..... letters

'An opportunity'

Scottish Tories have form for opposing changes that individuals can make to clean up the environment and reduce Scotland's carbon footprint (letters, February 1).

Way back in 2012, an SNP Government proposal for a 5p charge for single-use plastic bags was condemned by a Tory MSP as "a punitive tax on the Scottish people". Fortunately, the measure was introduced; almost overnight, reusing carriers or durable alternatives became a feature of 21st-century living, taking hundreds of millions of bags off our streets and out of hedges, trees, rivers and seas.

Rishi Sunak pledged to axe various "green" measures, including the supposedly intolerable burden of seven separate recycling receptacles. Recycling isn't a burden, it's an opportunity, and East Lothian has eight: counter-top and outdoor food caddies; boxes for paper/cardboard

Traditional skills must be nurtured

Regarding the decision of East Lothian Council's planning department to refuse an application for furniture-making studios in Bolton Muir Wood, near Gifford, this decision seems incredibly short-sighted given the well-documented decline of heritage craft skills.

The proposed workshop spaces would provide an ideal next stage for local graduates of the nearby Chippendale International School of Furniture.

The school is able to provide some graduates, such as

the applicant Iain Stirling, with workshop space for up to three years after graduation, giving them an opportunity to start their own independent businesses. But if they then wish to continue working in East Lothian, they need to acquire alternative studio spaces. The proposed development has exactly these aims.

In rejecting this application, the planning department shows their ignorance of the need to nurture traditional skills. Doing so not only allows these makers to

create by commission high-quality 21st-century furniture, which will become the antiques of the future, but also to use their woodworking skills in the repair and maintenance of our heritage of historic buildings and furniture.

Planning officials could not do better than take a lesson on the connection between forestry and furniture making by visiting the Real Wood Studios in the Scottish Borders. These studios take forward the inspiration of Scottish furniture maker

Tim Stead and are a hub facility for designer makers and for the supply of sustainably sourced hardwood. They are supported by both the public and local forestry, who identify suitable timber for them to store and season for use.

East Lothian should be encouraging standards of excellence and sustainability such as this, not forcing skilled makers to leave the county in order to establish their businesses.

Anne Orr
Dirleton

right to buy in England or will they serve their millionaire funders?

Council house building was begun by John Wheatley, a Scottish MP in the first Labour government. His solution to the housing crisis 100 years ago remains the solution today, not house building *per se*, but building by and for elected councils with capital borrowing powers. Labour regard Wheatley as their hero but this is a pretence; were he alive today they'd chase him. He was a socialist.

Scottish Labour governments built seven council houses. When Labour handed over one of the largest social housing stocks in Europe to the "arms-reach" body, Glasgow Housing Association, they signed a contract which forbade the building of council houses. This giant, pre-listed UK, pre-private corporation keeps its charitable status while snaffling housing associations wherever it can find them. Their Glasgow

Not only is a more frequent garden waste uplift welcome, what about adding another £35 to get rid of small electricals, kettles, toasters, irons, digital paraphernalia, redundant chargers, miles of cables and their non-replaceable

I booked the uplift online, which was free of charge, as it was her one free uplift for 2024.

The item was not uplifted, as it was not at the kerbside as the "rules state", the very unhelpful member of staff

SNP candidate for East Lothian, Iain Whyte, ahead of this year's general election.

In his communication, Mr Whyte claims that, in all policy areas, Westminster is failing Scotland. This includes reference to the health

and work for high-skilled workers.

Under the SNP, Scotland's economy, education and health service have declined. It says it all about the SNP that it is distributing election literature full of half-truths



Application for Planning Permission



Erection of Woodwork Studio

Bolton Muir, Gifford, EH41 4JH

NOVEMBER 2023.

apt planning &
development

1 West Road
Whitekirk
EH42 1XA

T – 07747 780 852

tony@apt-plandevlop.co.uk

www.apt-plandevlop.co.uk

Introduction

1. With regards to the above, **apt planning & development ltd.** is pleased to submit this application seeking planning permission for the erection of a Class 4 workshop for the establishment of a fine furniture/woodwork studio. An earlier application (22/01217/P) for a larger studio building was withdrawn earlier in 2023. The new submission has seen the studio reduced in size by over 40% from 690sqm to 400sqm and in response to initial feedback on the first application.

Site Characteristics

2. The site is an existing brownfield site on the outskirts of Gifford and set within a general woodland and agricultural setting. There is an existing access onto the B6355 whilst the site is generally flat. The whole site is rectangular in shape though the only area proposed for development is the eastern most part of the site which is a cleared site that previously accommodated a residential property as well as a previous planning permission for holiday accommodation.



3. The whole site within the applicant's ownership is roughly one hectare whilst the application covers an area of 0.15 hectares mainly on the eastern part of the site and also a section of the site enabling safe access onto the B3655.

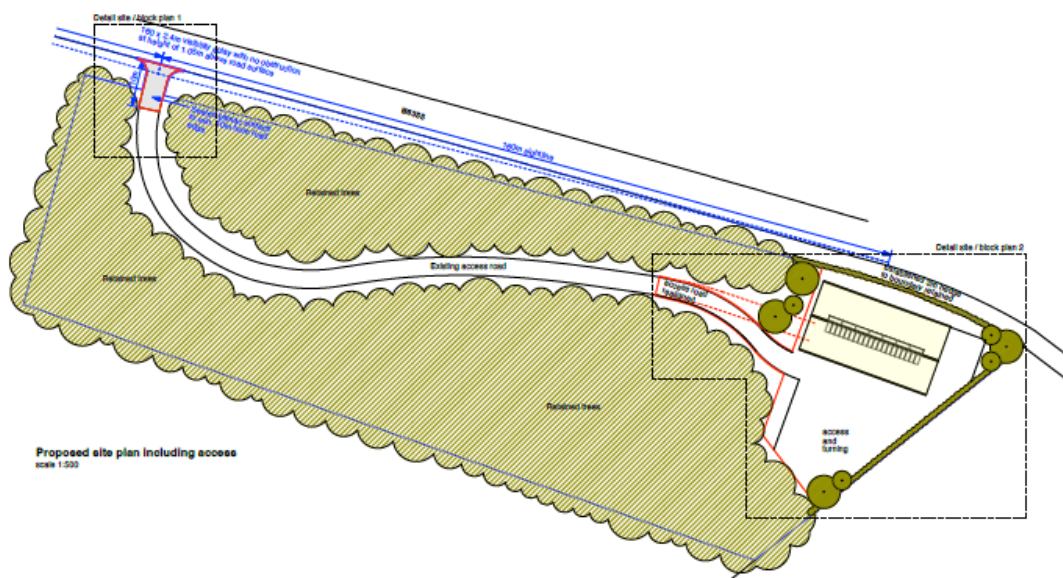
Planning History

4. The site at Bolton Muir accommodated a single home from the early 1950s which predated the nearby Membland properties. The property was demolished in 2002 and the site has remained vacant ever since.

- **Planning application 02/01309/FUL** sought to re-establish the site for residential use seeking the erection of a new home. This application was refused in June 2003 as there was no operational need for a new home in the Countryside.
 - **Planning application 11/00901/PP** for the erection of three holiday cottages/lodges was granted permission in March 2012 with further details granted permission via planning permission **15/001169/AMC** in August 2015. The three holiday accommodation units have never been built.
5. The site has accommodated a home, whilst also securing permission for holiday accommodation. It remains a cleared site with vehicle access direct off the B6355.

Proposals

6. Chapelhill Fine Furniture are craftsman furniture-makers who specialise in designing and making high quality bespoke furniture from British hardwoods. Iain Stirling has lived in East Lothian all his life and is seeking planning permission to build the studio workshop to support local economic development in supporting both his own business and that of other several other furniture makers and craftspeople who wish to remain in the county.



7. Having graduated from the Chippendale International School of Furniture in 2021, the applicant is currently renting space in the school's own studios but his tenancy there is limited by the school to only 3 years.

Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
November 2023

8. Around 30 students graduate from the school's Professional Course annually and only a limited number of these graduates are able to launch their own businesses from the school's workshops. At the end of their tenancy, these new businesses are often either forced to cease trading or to relocate out of East Lothian due to lack of suitable workspace and facilities within the county.
9. The proposed site at Bolton Muir can provide the necessary scale in a secluded setting whilst the close proximity to Gifford means that the Chippendale School will provide a regular feed of prospective tenants who have launched their businesses and need suitable facilities and space with which to continue growing and developing in the county.
10. Several of the applicant's existing colleagues who have fledgling businesses have expressed a strong willingness to become future tenants in the proposed workshop when their existing tenancies at Chippendale cease. We have provided letters of support as appendices to this letter.
11. Considerable investment is required to support a furniture maker – both financially and in terms of space – and consequently appropriate properties are very rare, and particularly so in East Lothian. The proposed workshop will provide bench space for the practicing of hand-skills and furniture assembly, whilst also providing the necessary machine-space for larger floor-mounted powered machinery that is used to shape timber to the required sizes, such as table-saws, planers and thicknessers.
12. It is envisaged that the studios will accommodate between 5 and 10 craftspeople, engaged in the design and manufacture of furniture. A collegiate atmosphere will be encouraged where ideas and technical help can be provided by colleagues and businesses will work collaboratively when another pair of hands is required.
13. The furniture created is bespoke and may be commissioned by clients to serve a specific purpose in a house, or be in a particular size, style or type of wood that is not available from other furniture retailers.
14. It is likely that the businesses housed within the studio will also undertake furniture repair and restoration work – skills learned during their studies at Chippendale. These same businesses often are employed by the Chippendale School either to undertake woodwork or as part-time tutors.

Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
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15. Working hours in the studio will normally be from 9 am until 5 pm with the day being a mixture of design, hand-work, machining and assembly. Deliveries from timber merchants would typically be every two weeks but may be less often depending upon the work being undertaken. Deliveries of finished products to clients will usually be carried out by the makers themselves making use of Transit type vans hired specially for the occasion.
16. The applicant, as a woodworker using hardwoods, has a great affinity for woodland and the growth of native broadleaves in the existing woodland area will be encouraged and promoted with planting of oak, beech and yew already underway. Additionally, the applicant's own beehives are also to be located on site.
17. The benefit and outcome of a successful planning process would be a specialist workshop being located close to a world renowned furniture school, creating a centre of excellence in Gifford where former students have the opportunity to stay in the area and benefit from the reputation of the Chippendale School and the quality of its graduating students.
18. It is this specialist and specific character that in our opinion creates a special case for allowing this development on an existing brownfield development site. To this end we have discussed the proposals with the Bolton, East Saltoun and Humbie Community Council who are supportive of the proposals.



Planning Policy

19. The development plan consists of National Planning Framework 4 and the adopted East Lothian Local Development Plan. We have identified and commented on the key policies below:

| Policy | Response |
|--------------|---|
| NPF Policy 1 | The site at Bolton Muir is a previously developed and cleared site, close to the village of Gifford. The workshop would accommodate local craftspeople able to build on their degree from the nearby Chippendale School of Furniture and reducing the need to travel between these linked businesses/locations. |
| Policy 2 | The workshop will be constructed using sustainable construction methods including solar panels, air-source heat pumps and modern methods of insulation. By using a previously developed site the project will make efficient use of an existing development site. |
| Policy 3 | The proposals will have very little impact on the woodland to the west and south of the site – the development will not encroach into the woodland and the proposed workshop will be on an already cleared site of limited biodiversity value. Nevertheless, action will be taken to maintain and enhance the adjacent woodland that is within the applicant’s ownership and ensure its long term viability. The long term security of the woodland will more than compensate for the very limited biodiversity loss as a result of the proposed development. |
| Policy 6 | These proposals will not impact on the overall quality, stature and character of the existing woodland at Bolton Muir. The site has been free of woodland since at least the 1950s having previously accommodated a residential property and its garden, and benefitted from a more recent planning permission for three holiday cottages/lodges. The site has been identified as being appropriate for limited development whilst maintaining and enhancing the existing woodland (as above). |

In total, it is recommended that 9 trees are removed mainly to ensure adequate and safe access. Mitigation planting will be considered and these removals will not impact on the overall quality of the woodland.

- Policy 11** The creation of the workshop at Bolton Muir will create a much needed space for local artisan furniture makers/repairers and woodworkers graduating from the Chippendale School of Furniture and in need of appropriate space to start their post-graduation careers. This will create and protect local jobs and create a specialist hub of carpentry/woodworkers in the Gifford area.
- The setting of the workshop on a previously developed site will ensure that the development itself will not have any impact on the surrounding area. It will generate very little traffic and there are no road capacity or safety issues.
- Policy 12** This is a previously developed site with a planning history supporting development. The business works with recyclable sustainable materials and will be closely linked with the nearby Chippendale School of Furniture therefore minimising travel time/distances between the two locations, whilst also providing much needed artisan styles space for like-minded workers. Workers who already live locally will be able to continue to work locally and maintain minimal commuting distances. There will be few further environmental concerns (noise/air quality etc.) and the site is already well screened from external views.
- Policy 13** The site is on an existing bus route (the 123) which serves Haddington, Gifford and Pencaitland. We do accept that the location favours the use of the private car, though on-site EV charging points will be provided and the site will generate very little traffic whilst occupiers will have the opportunity of utilising the existing facilities in Gifford.
- Policy 14** The site is well-screened from external views by a lapsed beech hedge which is around 7 metres in height and makes the site almost invisible from outwith. The building will reflect its function as modest sized workshop and will be appropriate to the site characteristics.
- Policy 15** The proposals will contribute to local living in providing work space for up to 10 wood-workers each of whom will use local services and many of whom will live locally and be grateful for the opportunity to continue their relationship with the local area. The establishment of Bolton Muir Studios will also create a centre of excellence for woodworkers in the East of Scotland which itself will benefit the Gifford area.

- Policy 26** In selecting/purchasing the site at Bolton Muir, the applicant had previously sought unsuccessfully to rent existing and appropriate space elsewhere in East Lothian. It simply does not exist both in terms of affordability (these businesses are essentially a labour of love, with limited regular cash flow and lower than normal profitability) and practicality (the occupiers require space for large shared items of machinery).
- It soon became apparent that Chapelhill Fine Furniture would best be served by constructing a purpose built facility and being able to offer space to similar individuals/businesses who also struggle to find appropriate premises. .
- Policy 29** The proposals will clearly contribute to the vitality and diversity of the East Lothian rural economy and specifically in the Gifford area creating new employment opportunities and helping create a wood workers area of excellence. It is essentially a sustainable business working with renewable resources and constructed on an existing brownfield site in a countryside setting. The proposals are appropriately scaled and designed for their location, creating a workshop for up to 10 individuals whilst being on a site nearly invisible from outwith the boundary due to the existing adjacent mature woodland and lapsed hedges.
- Policy 31** The proposals will see the creation of a wood working/furniture making workshop, closely associated with the Chippendale School of Furniture to the south of Gifford and represents the creation of a creative workspace and is important in establishing Gifford as a centre of excellence of people working in furniture making and woodwork.
- East Lothian LDP Policy T1** The site at Bolton Muir is on the 123 bus route serving Gifford, Haddington and Pencaitland. It will see a small number of workers and although it is not an ideal site for public transport or walking it is reasonable to assume that some employees/businesses may choose to cycle from Gifford or Haddington for instance.
- Policy T2** The development of a workshop at Bolton Muir will not have a detrimental impact on road capacity or safety. The B6355 is a quiet road and the access to the site is on a straight part of the road heading east towards or west away from Gifford with 200m of visibility to the east and well in excess of that to the west.

Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
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Policy DC1 The site at Bolton Muir represents a site specific opportunity in so much as Chapelhill Fine Furniture owns the site, lives locally and the applicant is also a graduate of the nearby Chippendale International School of Furniture and wishes to create a specialist furniture making facility for themselves and other similar individuals/businesses.

There is no alternative location within the settlement boundary of Gifford and as has been explained above, no suitable premises are available elsewhere in East Lothian that are both big enough and affordable but, regardless, the clear intention is the link to Chippendale International School of Furniture also located just outside Gifford.

The site represents a brownfield site in the countryside with a planning history that permits development. The business would be an artisan creative business with little impact on the surrounding area and no sensitive neighbours and a clear link to the location rendering it a rural based business. In working with locally sourced wood, it is arguable that a rural location is appropriate to be close to the source material and also enable deliveries etc. that will have no impact on nearby village/town centres.

Policy NH8 The applicant owns a 1 hectare area of Bolton Muir Wood with the area affected by development being a little over 10% of that but none of which is currently wooded – the access and development footprint is already a cleared site due to previous development. It is proposed to remove 9 trees to enable development, manage the existing trees and ensure safe access. The removal of these trees will in no way impact on the integrity of the woodland, whilst Chapelhill Fine Furniture will be on-site to implement a management plan to enhance the existing woodland in their control.

Policy DP1 The proposals at Bolton Muir are well hidden within the existing clearing and existing woodland setting. The development will have no impact on the wider landscape setting. The boundary planting and residual woodland will be managed and enhanced by the applicant as part of their management of the overall site.

Policy DP2 Given its ‘hidden’ setting, the design of the proposed workshop will reflect the function of the building. It will be a simple design, appropriate to the countryside setting appearing as an agricultural shed with larch cladding and steel roof.

Conclusions

20. The applicant, Iain Stirling (trading as Chapelhill Fine Furniture) is a relatively recent graduate of the Chippendale School of Furniture in Gifford. Since graduating, he has been able to occupy space on-site at the School to establish his business. This arrangement cannot continue as the space is rented only to recent graduates.
21. The applicant bought the land at Bolton Muir, aware that it has a planning history which enabled development, but also to maintain the important links to the School of Furniture, benefit from proximity and create a centre of excellence in Gifford.
22. Alternative opportunities of appropriate form and cost simply do not exist for what is a relatively unique creative business. This is truly a site specific opportunity not easily pigeon-holed as an industrial/business use.
23. The combination of NPF4 and the East Lothian Local Development Plan allows us to assess the balance of the relevant policies to reach a conclusion as to whether an application should be supported.
24. In this case, the unique nature of both the site as a cleared brownfield site in the countryside and the opportunity to build on the success of the Chippendale School of Furniture with this related and complimentary use, coupled with an appropriate and sustainable construction including larch cladding, solar panels and air source heat pumps enables the Council to consider this proposal positively.
25. The proposal will create/retain up to 10 jobs in Gifford, has few if any negative impacts on the site or surrounding area, will incorporate sustainable construction methods and can be accessed directly off the B3655 (via an existing site access) whilst building on the historic success and reputation of the Chippendale International School of Furniture.
26. We look forward to receiving confirmation that this application has been received and please do not hesitate to contact me should you have any further question



Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
November 2023

APPENDICES

- Letter of support

From: [REDACTED]
Subject: Fwd: Planning for a workshop
Date: 29 April 2023 at 11:54
To:



Begin forwarded message:

From: [REDACTED]
Subject: Re: Planning for a workshop
Date: 9 April 2023 at 17:20:27 BST
To: [REDACTED]

I am writing to add my support to the Chapelhill furniture planning application. As a fellow woodworker I understand how important it is to have a safe and convenient workplace to go to each day. I live in Edinburgh and commute out to east Lothian each day to work as a furniture maker. I make the commute because it means that I am in a workshop that is fully equipped with all the tools I need they are shared between myself and the other renters as I wouldn't be able to afford to set up on my own. I also need the other people around for company but also to help with certain jobs in the workshop. Other potential workshops are few and far between in the city of Edinburgh or they're very expensive. What I think Iain Stirling is trying to achieve through his application is a rare and good thing for East Lothian and for the woodworkers in the area. One would find it difficult to work alone in a workshop and it's generally much safer to have a few people around to help with deliveries and cutting down large sheet material.

I hope you consider and agree to the planning of this venture as it would only prove to be a positive and beneficial thing.
Kind regards,
Ellie Agnew

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

From: [REDACTED]
Subject: Supporting Statement – Iain Stirling, Chapelhill Fine Furniture for planning application for Bolton Muir Studios
Date: 13 September 2023 at 21:40
To: [REDACTED]



Dear Iain

To Whom It May Concern

My name is Brian Crozier and I live in Edinburgh. I graduated from the Chippendale International School in Gifford in 2019. I stayed on in the school's 'Incubator Workshop' as I began to make furniture, mainly from Scottish hardwoods. I progressed to making oak doors & windows and a solid beech kitchen. Unfortunately my time at the workshop was interrupted by Covid and then some personal difficulties. I planned to continue with my business but my lease at the workshop ended. The Chippendale School would not consider extending the 3 year lease so I had to leave the workshop at Gifford in October 2022. Since then I have struggled to find any suitable premises to continue my business. There are some options in Edinburgh, but the rental prices are prohibitive and there are long waiting lists for spaces. I did explore the possibility of setting up a workshop in Edinburgh with some fellow woodworkers. However the costs of renting a suitable building, then setting it up with machinery, dust extraction and configuring it into a functional workspace meant this was not an option that we could contemplate due the significant costs involved in doing this in the Capital.

The ongoing success of the Chippendale School shows there is a large market for training and workshop access for woodworking and bespoke manufacturing in the region. Iain is an excellent woodworker and, after sharing a workshop with him and getting to know him better, it is clear that his knowledge and skills and his ability to share these with others and work in a collaborative manner would underpin the success of running his own workshop. His small workshop would be an ideal option for people like me & others in a similar situation who want to continue making bespoke wooden furniture in East Lothian.

Brian Crozier

[REDACTED]

[REDACTED]

From: [REDACTED]
Subject: Fwd: Planning for a workshop
Date: 29 April 2023 at 11:55
To:



Begin forwarded message:

From: [REDACTED]
Subject: Re: Planning for a workshop
Date: 13 April 2023 at 19:03:18 BST
To: [REDACTED]

As a professional furniture maker Edinburgh and the surrounding area really lacks collaborative hubs for fellow makers.

Industrial units are unsuitable for a number of reasons: expensive, unheated, and are only suitable for one or two workers. The monthly rent alone precludes most furniture makers - the numbers only really working if you specialise in large scale fitted installations not small batch free standing furniture.

Scotland has a burgeoning creative scene where furniture makers and furniture artists could really flourish if councils supported rather than hindered ambitious professionals.

Best regards,
Richard

Richard England

[REDACTED]

Supporting Statement for Bolton Muir Studios.

I currently share a communal workshop with Iain Stirling, Chapelhill Fine Furniture. We are both on short term leases and looking to move on to a new workshop within a year. The search for suitable premises has been really difficult. I live in West Lothian and everything available to me is located in an industrial estate where the lots are so large, they become unaffordable for a small independent business. They are also normally empty, so become extremely unaffordable to businesses like mine that have only been trading for a couple of years – I cannot afford to both rent a space and buy machinery. Likewise, if I was to move to an industrial unit, I suddenly lose the help of other makers that I have become accustomed to in our current communal workshop. Furniture making requires large sheet materials, heavy boards of hardwood that I cannot safely manage by myself.

I fully support Iain's new workshop as there are almost no spaces available near Edinburgh that provide small woodworking businesses with the necessary machinery to make furniture, the companionship and help of other makers, and are also affordable.

Helena Robson



25/04/2023

From: [REDACTED]
Subject: Fwd: Planning for a workshop
Date: 9 September 2023 at 16:23
To:



Begin forwarded message:

From: [REDACTED]
Subject: Re: Planning for a workshop
Date: 5 September 2023 at 14:24:49 BST
To: [REDACTED]

To whom it may concern.

As a graduate of the Chippendale International School of Furniture I write in support of the proposed woodworkers workshop near Gifford. This, in my opinion, would be a most welcome addition to the facilities available locally and I for one would use it and support it. Following the one year Professional Course at Chippendale, woodworkers have the option to rent workspace there for a period of three years post graduation. The aim of this is to allow graduates continued access to heavy woodworking machinery and to find their feet in establishing a business. Sadly, once the three years have elapsed you have to leave, there are no exceptions to this rule. The intake at Chippendales is cosmopolitan and students come from all areas of the UK and abroad. I can think of numerous examples of students who have subsequently started businesses and put down roots in the area following graduation. For my wife and myself, we relocated from Moray and we are now putting down roots in the area and intend to stay.

This proposal therefore would be an ideal location for woodworkers to move to following their bench rental at Chippendales, meaning minimal disruption to their lives. Large machinery such as planers, table saws, thicknessers and band saws involve a large investment in terms of capital cost but are essential to cost effective woodworking. Access to shared machinery therefore makes a lot of sense economically. Facilitating more woodworking businesses in the area would contribute to the economy in East Lothian and allow local residents to commission bespoke furniture, kitchens, wardrobes etc and also repair of existing pieces. In a broader context it would support the circular carbon economy in Scotland and the UK as much of the wood used is sourced from local timber merchants or sawmills.

In summary, a small light industrial unit such as this, which would not be polluting in any way to the environment, is ideally suited to generate self employment and employment in the East Lothian area. It would also enhance the lives of local residents in terms of the type of products or services that they could readily access.

Yours sincerely

Ian Swann BVM&S MRCVS



To whom it may concern,

The proposed workshop would be an extremely valuable asset to East Lothian and should be approved.

Having completed the professional furniture making course at the Chippendale School 2 years ago now, I along with many others proceeded to stay on and rent a work bench to start our own businesses. This comes with a time limit of 3 years before you must move on to your own space.

Having now set up a successful business searching for a new workshop has proved to be a very difficult task as there is little to no available spaces suitable within East Lothian to move to. The proposal of offering a shared workshop for 6 woodworkers would be extremely valued and would provide services for multiple businesses to continue while all utilising the same machinery. This is helpful for businesses starting out as finding a space large enough to have all your own machinery plus the cost of the machinery itself means you would have a very large expenditure to set up on your own which often isn't financially possible.

Yours sincerely,

John Heuchan





Application for Planning Permission



Erection of Woodwork Studio

Bolton Muir, Gifford, EH41 4JH

NOVEMBER 2023.

apt planning &
development

1 West Road
Whitekirk
EH42 1XA

T – 07747 780 852

tony@apt-plandevlop.co.uk

www.apt-plandevlop.co.uk

Introduction

1. With regards to the above, **apt planning & development ltd.** is pleased to submit this application seeking planning permission for the erection of a Class 4 workshop for the establishment of a fine furniture/woodwork studio. An earlier application (22/01217/P) for a larger studio building was withdrawn earlier in 2023. The new submission has seen the studio reduced in size by over 40% from 690sqm to 400sqm and in response to initial feedback on the first application.

Site Characteristics

2. The site is an existing brownfield site on the outskirts of Gifford and set within a general woodland and agricultural setting. There is an existing access onto the B6355 whilst the site is generally flat. The whole site is rectangular in shape though the only area proposed for development is the eastern most part of the site which is a cleared site that previously accommodated a residential property as well as a previous planning permission for holiday accommodation.



3. The whole site within the applicant's ownership is roughly one hectare whilst the application covers an area of 0.15 hectares mainly on the eastern part of the site and also a section of the site enabling safe access onto the B3655.

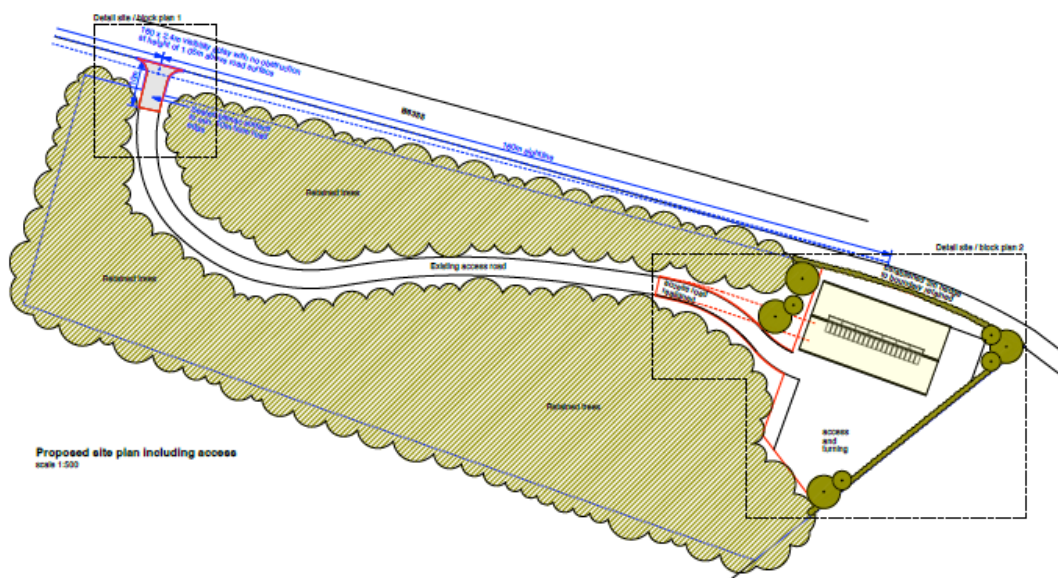
Planning History

4. The site at Bolton Muir accommodated a single home from the early 1950s which predated the nearby Membland properties. The property was demolished in 2002 and the site has remained vacant ever since.

- **Planning application 02/01309/FUL** sought to re-establish the site for residential use seeking the erection of a new home. This application was refused in June 2003 as there was no operational need for a new home in the Countryside.
 - **Planning application 11/00901/PP** for the erection of three holiday cottages/lodges was granted permission in March 2012 with further details granted permission via planning permission **15/001169/AMC** in August 2015. The three holiday accommodation units have never been built.
5. The site has accommodated a home, whilst also securing permission for holiday accommodation. It remains a cleared site with vehicle access direct off the B6355.

Proposals

6. Chapelhill Fine Furniture are craftsman furniture-makers who specialise in designing and making high quality bespoke furniture from British hardwoods. Iain Stirling has lived in East Lothian all his life and is seeking planning permission to build the studio workshop to support local economic development in supporting both his own business and that of other several other furniture makers and craftspeople who wish to remain in the county.



7. Having graduated from the Chippendale International School of Furniture in 2021, the applicant is currently renting space in the school's own studios but his tenancy there is limited by the school to only 3 years.

Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
November 2023

8. Around 30 students graduate from the school's Professional Course annually and only a limited number of these graduates are able to launch their own businesses from the school's workshops. At the end of their tenancy, these new businesses are often either forced to cease trading or to relocate out of East Lothian due to lack of suitable workspace and facilities within the county.
9. The proposed site at Bolton Muir can provide the necessary scale in a secluded setting whilst the close proximity to Gifford means that the Chippendale School will provide a regular feed of prospective tenants who have launched their businesses and need suitable facilities and space with which to continue growing and developing in the county.
10. Several of the applicant's existing colleagues who have fledgling businesses have expressed a strong willingness to become future tenants in the proposed workshop when their existing tenancies at Chippendale cease. We have provided letters of support as appendices to this letter.
11. Considerable investment is required to support a furniture maker – both financially and in terms of space – and consequently appropriate properties are very rare, and particularly so in East Lothian. The proposed workshop will provide bench space for the practicing of hand-skills and furniture assembly, whilst also providing the necessary machine-space for larger floor-mounted powered machinery that is used to shape timber to the required sizes, such as table-saws, planers and thicknessers.
12. It is envisaged that the studios will accommodate between 5 and 10 craftspeople, engaged in the design and manufacture of furniture. A collegiate atmosphere will be encouraged where ideas and technical help can be provided by colleagues and businesses will work collaboratively when another pair of hands is required.
13. The furniture created is bespoke and may be commissioned by clients to serve a specific purpose in a house, or be in a particular size, style or type of wood that is not available from other furniture retailers.
14. It is likely that the businesses housed within the studio will also undertake furniture repair and restoration work – skills learned during their studies at Chippendale. These same businesses often are employed by the Chippendale School either to undertake woodwork or as part-time tutors.

Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
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15. Working hours in the studio will normally be from 9 am until 5 pm with the day being a mixture of design, hand-work, machining and assembly. Deliveries from timber merchants would typically be every two weeks but may be less often depending upon the work being undertaken. Deliveries of finished products to clients will usually be carried out by the makers themselves making use of Transit type vans hired specially for the occasion.
16. The applicant, as a woodworker using hardwoods, has a great affinity for woodland and the growth of native broadleaves in the existing woodland area will be encouraged and promoted with planting of oak, beech and yew already underway. Additionally, the applicant's own beehives are also to be located on site.
17. The benefit and outcome of a successful planning process would be a specialist workshop being located close to a world renowned furniture school, creating a centre of excellence in Gifford where former students have the opportunity to stay in the area and benefit from the reputation of the Chippendale School and the quality of its graduating students.
18. It is this specialist and specific character that in our opinion creates a special case for allowing this development on an existing brownfield development site. To this end we have discussed the proposals with the Bolton, East Saltoun and Humbie Community Council who are supportive of the proposals.



Planning Policy

19. The development plan consists of National Planning Framework 4 and the adopted East Lothian Local Development Plan. We have identified and commented on the key policies below:

| Policy | Response |
|--------------|---|
| NPF Policy 1 | The site at Bolton Muir is a previously developed and cleared site, close to the village of Gifford. The workshop would accommodate local craftspeople able to build on their degree from the nearby Chippendale School of Furniture and reducing the need to travel between these linked businesses/locations. |
| Policy 2 | The workshop will be constructed using sustainable construction methods including solar panels, air-source heat pumps and modern methods of insulation. By using a previously developed site the project will make efficient use of an existing development site. |
| Policy 3 | The proposals will have very little impact on the woodland to the west and south of the site – the development will not encroach into the woodland and the proposed workshop will be on an already cleared site of limited biodiversity value. Nevertheless, action will be taken to maintain and enhance the adjacent woodland that is within the applicant’s ownership and ensure its long term viability. The long term security of the woodland will more than compensate for the very limited biodiversity loss as a result of the proposed development. |
| Policy 6 | These proposals will not impact on the overall quality, stature and character of the existing woodland at Bolton Muir. The site has been free of woodland since at least the 1950s having previously accommodated a residential property and its garden, and benefitted from a more recent planning permission for three holiday cottages/lodges. The site has been identified as being appropriate for limited development whilst maintaining and enhancing the existing woodland (as above). |

In total, it is recommended that 9 trees are removed mainly to ensure adequate and safe access. Mitigation planting will be considered and these removals will not impact on the overall quality of the woodland.

- Policy 11** The creation of the workshop at Bolton Muir will create a much needed space for local artisan furniture makers/repairers and woodworkers graduating from the Chippendale School of Furniture and in need of appropriate space to start their post-graduation careers. This will create and protect local jobs and create a specialist hub of carpentry/woodworkers in the Gifford area.
- The setting of the workshop on a previously developed site will ensure that the development itself will not have any impact on the surrounding area. It will generate very little traffic and there are no road capacity or safety issues.
- Policy 12** This is a previously developed site with a planning history supporting development. The business works with recyclable sustainable materials and will be closely linked with the nearby Chippendale School of Furniture therefore minimising travel time/distances between the two locations, whilst also providing much needed artisan styles space for like-minded workers. Workers who already live locally will be able to continue to work locally and maintain minimal commuting distances. There will be few further environmental concerns (noise/air quality etc.) and the site is already well screened from external views.
- Policy 13** The site is on an existing bus route (the 123) which serves Haddington, Gifford and Pencaitland. We do accept that the location favours the use of the private car, though on-site EV charging points will be provided and the site will generate very little traffic whilst occupiers will have the opportunity of utilising the existing facilities in Gifford.
- Policy 14** The site is well-screened from external views by a lapsed beech hedge which is around 7 metres in height and makes the site almost invisible from outwith. The building will reflect its function as modest sized workshop and will be appropriate to the site characteristics.
- Policy 15** The proposals will contribute to local living in providing work space for up to 10 wood-workers each of whom will use local services and many of whom will live locally and be grateful for the opportunity to continue their relationship with the local area. The establishment of Bolton Muir Studios will also create a centre of excellence for woodworkers in the East of Scotland which itself will benefit the Gifford area.

- Policy 26** In selecting/purchasing the site at Bolton Muir, the applicant had previously sought unsuccessfully to rent existing and appropriate space elsewhere in East Lothian. It simply does not exist both in terms of affordability (these businesses are essentially a labour of love, with limited regular cash flow and lower than normal profitability) and practicality (the occupiers require space for large shared items of machinery).
- It soon became apparent that Chapelhill Fine Furniture would best be served by constructing a purpose built facility and being able to offer space to similar individuals/businesses who also struggle to find appropriate premises. .
- Policy 29** The proposals will clearly contribute to the vitality and diversity of the East Lothian rural economy and specifically in the Gifford area creating new employment opportunities and helping create a wood workers area of excellence. It is essentially a sustainable business working with renewable resources and constructed on an existing brownfield site in a countryside setting. The proposals are appropriately scaled and designed for their location, creating a workshop for up to 10 individuals whilst being on a site nearly invisible from outwith the boundary due to the existing adjacent mature woodland and lapsed hedges.
- Policy 31** The proposals will see the creation of a wood working/furniture making workshop, closely associated with the Chippendale School of Furniture to the south of Gifford and represents the creation of a creative workspace and is important in establishing Gifford as a centre of excellence of people working in furniture making and woodwork.
- East Lothian LDP Policy T1** The site at Bolton Muir is on the 123 bus route serving Gifford, Haddington and Pencaitland. It will see a small number of workers and although it is not an ideal site for public transport or walking it is reasonable to assume that some employees/businesses may choose to cycle from Gifford or Haddington for instance.
- Policy T2** The development of a workshop at Bolton Muir will not have a detrimental impact on road capacity or safety. The B6355 is a quiet road and the access to the site is on a straight part of the road heading east towards or west away from Gifford with 200m of visibility to the east and well in excess of that to the west.

Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
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Policy DC1 The site at Bolton Muir represents a site specific opportunity in so much as Chapelhill Fine Furniture owns the site, lives locally and the applicant is also a graduate of the nearby Chippendale International School of Furniture and wishes to create a specialist furniture making facility for themselves and other similar individuals/businesses.

There is no alternative location within the settlement boundary of Gifford and as has been explained above, no suitable premises are available elsewhere in East Lothian that are both big enough and affordable but, regardless, the clear intention is the link to Chippendale International School of Furniture also located just outside Gifford.

The site represents a brownfield site in the countryside with a planning history that permits development. The business would be an artisan creative business with little impact on the surrounding area and no sensitive neighbours and a clear link to the location rendering it a rural based business. In working with locally sourced wood, it is arguable that a rural location is appropriate to be close to the source material and also enable deliveries etc. that will have no impact on nearby village/town centres.

Policy NH8 The applicant owns a 1 hectare area of Bolton Muir Wood with the area affected by development being a little over 10% of that but none of which is currently wooded – the access and development footprint is already a cleared site due to previous development. It is proposed to remove 9 trees to enable development, manage the existing trees and ensure safe access. The removal of these trees will in no way impact on the integrity of the woodland, whilst Chapelhill Fine Furniture will be on-site to implement a management plan to enhance the existing woodland in their control.

Policy DP1 The proposals at Bolton Muir are well hidden within the existing clearing and existing woodland setting. The development will have no impact on the wider landscape setting. The boundary planting and residual woodland will be managed and enhanced by the applicant as part of their management of the overall site.

Policy DP2 Given its ‘hidden’ setting, the design of the proposed workshop will reflect the function of the building. It will be a simple design, appropriate to the countryside setting appearing as an agricultural shed with larch cladding and steel roof.

Conclusions

20. The applicant, Iain Stirling (trading as Chapelhill Fine Furniture) is a relatively recent graduate of the Chippendale School of Furniture in Gifford. Since graduating, he has been able to occupy space on-site at the School to establish his business. This arrangement cannot continue as the space is rented only to recent graduates.
21. The applicant bought the land at Bolton Muir, aware that it has a planning history which enabled development, but also to maintain the important links to the School of Furniture, benefit from proximity and create a centre of excellence in Gifford.
22. Alternative opportunities of appropriate form and cost simply do not exist for what is a relatively unique creative business. This is truly a site specific opportunity not easily pigeon-holed as an industrial/business use.
23. The combination of NPF4 and the East Lothian Local Development Plan allows us to assess the balance of the relevant policies to reach a conclusion as to whether an application should be supported.
24. In this case, the unique nature of both the site as a cleared brownfield site in the countryside and the opportunity to build on the success of the Chippendale School of Furniture with this related and complimentary use, coupled with an appropriate and sustainable construction including larch cladding, solar panels and air source heat pumps enables the Council to consider this proposal positively.
25. The proposal will create/retain up to 10 jobs in Gifford, has few if any negative impacts on the site or surrounding area, will incorporate sustainable construction methods and can be accessed directly off the B3655 (via an existing site access) whilst building on the historic success and reputation of the Chippendale International School of Furniture.
26. We look forward to receiving confirmation that this application has been received and please do not hesitate to contact me should you have any further question



Application for Erection of Woodwork Studio, Bolton Muir, Gifford, EH41 4JH
November 2023

APPENDICES

- Letter of support

From: ChapelhillFineFurniture iain@chapelhillfinefurniture.co.uk
Subject: Fwd: Planning for a workshop
Date: 29 April 2023 at 11:54
To:



Begin forwarded message:

From: Ellie Agnew <ellie.j.agnew@gmail.com>
Subject: Re: Planning for a workshop
Date: 9 April 2023 at 17:20:27 BST
To: Chapelhill Fine Furniture <iain@chapelhillfinefurniture.co.uk>

I am writing to add my support to the Chapelhill furniture planning application. As a fellow woodworker I understand how important it is to have a safe and convenient workplace to go to each day. I live in Edinburgh and commute out to east Lothian each day to work as a furniture maker. I make the commute because it means that I am in a workshop that is fully equipped with all the tools I need they are shared between myself and the other renters as I wouldn't be able to afford to set up on my own. I also need the other people around for company but also to help with certain jobs in the workshop. Other potential workshops are few and far between in the city of Edinburgh or they're very expensive. What I think Iain Stirling is trying to achieve through his application is a rare and good thing for East Lothian and for the woodworkers in the area. One would find it difficult to work alone in a workshop and it's generally much safer to have a few people around to help with deliveries and cutting down large sheet material.

I hope you consider and agree to the planning of this venture as it would only prove to be a positive and beneficial thing.
Kind regards,
Ellie Agnew
Agnew Workings

I hope this is helpful and the right sort of thing,
If not, I can edit.

Ellie

From: Brian Crozier briancrozier@gmail.com

Subject: Supporting Statement – Iain Stirling, Chapelhill Fine Furniture for planning application for Bolton Muir Studios

Date: 13 September 2023 at 21:40

To: Iain Stirling iain@iainstirling.com

BC

Dear Iain

To Whom It May Concern

My name is Brian Crozier and I live in Edinburgh. I graduated from the Chippendale International School in Gifford in 2019. I stayed on in the school's 'Incubator Workshop' as I began to make furniture, mainly from Scottish hardwoods. I progressed to making oak doors & windows and a solid beech kitchen. Unfortunately my time at the workshop was interrupted by Covid and then some personal difficulties. I planned to continue with my business but my lease at the workshop ended. The Chippendale School would not consider extending the 3 year lease so I had to leave the workshop at Gifford in October 2022. Since then I have struggled to find any suitable premises to continue my business. There are some options in Edinburgh, but the rental prices are prohibitive and there are long waiting lists for spaces. I did explore the possibility of setting up a workshop in Edinburgh with some fellow woodworkers. However the costs of renting a suitable building, then setting it up with machinery, dust extraction and configuring it into a functional workspace meant this was not an option that we could contemplate due the significant costs involved in doing this in the Capital.

The ongoing success of the Chippendale School shows there is a large market for training and workshop access for woodworking and bespoke manufacturing in the region. Iain is an excellent woodworker and, after sharing a workshop with him and getting to know him better, it is clear that his knowledge and skills and his ability to share these with others and work in a collaborative manner would underpin the success of running his own workshop. His small workshop would be an ideal option for people like me & others in a similar situation who want to continue making bespoke wooden furniture in East Lothian.

Brian Crozier
Crozier Carpentry

Sent from my iPhone

From: ChapelhillFineFurniture iain@chapelhillfinefurniture.co.uk
Subject: Fwd: Planning for a workshop
Date: 29 April 2023 at 11:55
To:



Begin forwarded message:

From: Richard England <richard@glencairnurniture.co.uk>
Subject: **Re: Planning for a workshop**
Date: 13 April 2023 at 19:03:18 BST
To: Chapelhill Fine Furniture <iain@chapelhillfinefurniture.co.uk>

As a professional furniture maker Edinburgh and the surrounding area really lacks collaborative hubs for fellow makers.

Industrial units are unsuitable for a number of reasons: expensive, unheated, and are only suitable for one or two workers. The monthly rent alone precludes most furniture makers - the numbers only really working if you specialise in large scale fitted installations not small batch free standing furniture.

Scotland has a burgeoning creative scene where furniture makers and furniture artists could really flourish if councils supported rather than hindered ambitious professionals.

Best regards,
Richard

Richard England
Founder | Designer | Maker
t: +44 (0)7799 147 221
w: www.glencairnurniture.co.uk

Supporting Statement for Bolton Muir Studios.

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Helena Robson

A handwritten signature in black ink that reads "Helena Robson". The signature is written in a cursive style with a large, sweeping flourish at the end of the name.

HEFT STUDIO

25/04/2023

From: ChapelhillFineFurniture iain@chapelhillfinefurniture.co.uk
Subject: Fwd: Planning for a workshop
Date: 9 September 2023 at 16:23
To:



Begin forwarded message:

From: swannsf@icloud.com
Subject: Re: Planning for a workshop
Date: 5 September 2023 at 14:24:49 BST
To: Chapelhill Fine Furniture <iain@chapelhillfinefurniture.co.uk>

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Yours sincerely

Ian Swann BVM&S MRCVS

John Heuchan
20 Meadowpark
Haddington
EH41 4DS

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Yours sincerely,

John Heuchan



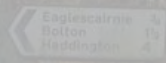
M: +44(0)7837136592

E: info@laurelandwood.co.uk

W: www.laurelandwood.co.uk

Transport Statement

Bolton Muir, Gifford



Eaglecrairie 4
Bolton 15
Haddington 2

Change list

| Ver | Date | Description of the change | Reviewed | Approved by |
|-----|------------|---------------------------|----------|-------------|
| P01 | 08/12/2023 | For Review | RM | RM |
| P02 | 13/12/2023 | First Issue | RM | RM |

Sweco UK Limited 2888385
Project Name Bolton Muir, Gifford
Project Number 65211516
Client Iain Stirling
Author RE
Controlled by RE
Approved by RM
Date 2023-12-15
Document reference 65211516-SWE-XX-XX-T-H-0001 - Transport_Statement_Bolton_Muir_P02_no app

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1 Introduction

Sweco was commissioned by Chapelhill Fine Furniture to prepare a Transport Statement in support of an application for planning permission for a proposed small business development located in Bolton Muir Wood to the west of Gifford, East Lothian.

The development proposal includes the construction of a workshop and studio, an associated car park, and provision of an access road. Access is to be taken from an existing access junction on the B6355. The proposed development lies within land currently within the Client ownership as shown in **Figure 1.1**.

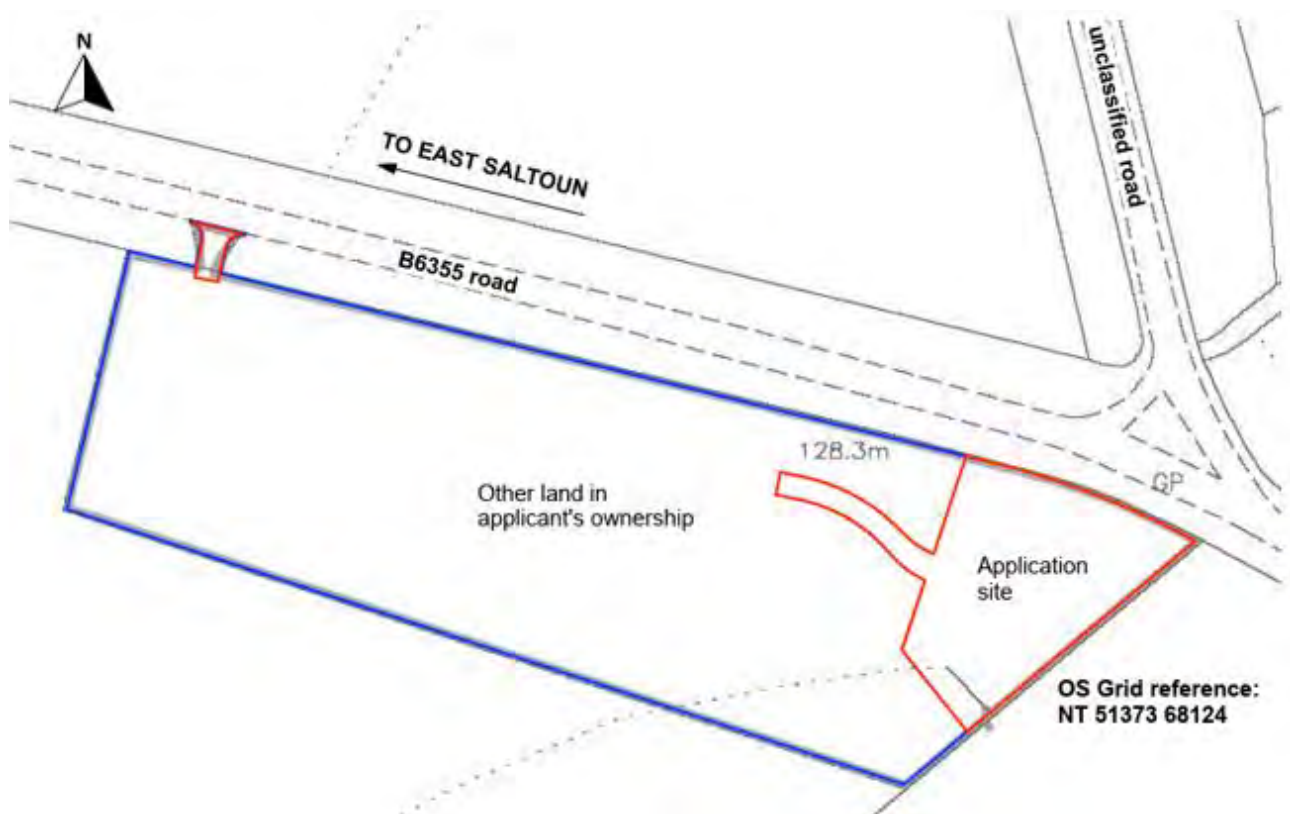


Figure 1.1 – Proposed Development Site

The Transport Statement considers opportunities by sustainable modes of travel and the vehicle access strategy covering; the junction geometry, how the access road connects to the wider road network, and a high-level review of the capacity of the access road and junction to cater for expected travel demand generated from the proposed development.

The Transport Statement has been produced based on a desk study of existing relevant information supplemented with a site visit undertaken on 6th November 2023. During the site visit, measurements of the existing carriageway were obtained, and photographs of the existing site conditions were taken.

The Transport Statement addresses the following:

- **Chapter 2** – Development Proposal;
- **Chapter 3** – Existing Transport Conditions;
- **Chapter 4** – Vehicle Access Assessment; and
- **Chapter 5** – Conclusions and Recommendations.

2 Development Proposal

This chapter describes the existing site conditions, and the development proposal.

2.1 Development Site

The site is located approximately 2.5km west of the village of Gifford, East Lothian at the eastern extent of Bolton Muir Wood, and is situated adjacent to the B6355 opposite a junction with an unnamed and unclassified road. Access to the site is currently taken from the B6355 via an unbound access track and junction which is gated to prevent public access.

The location of the site within the context of the surrounding area is provided in **Figure 2.1**.

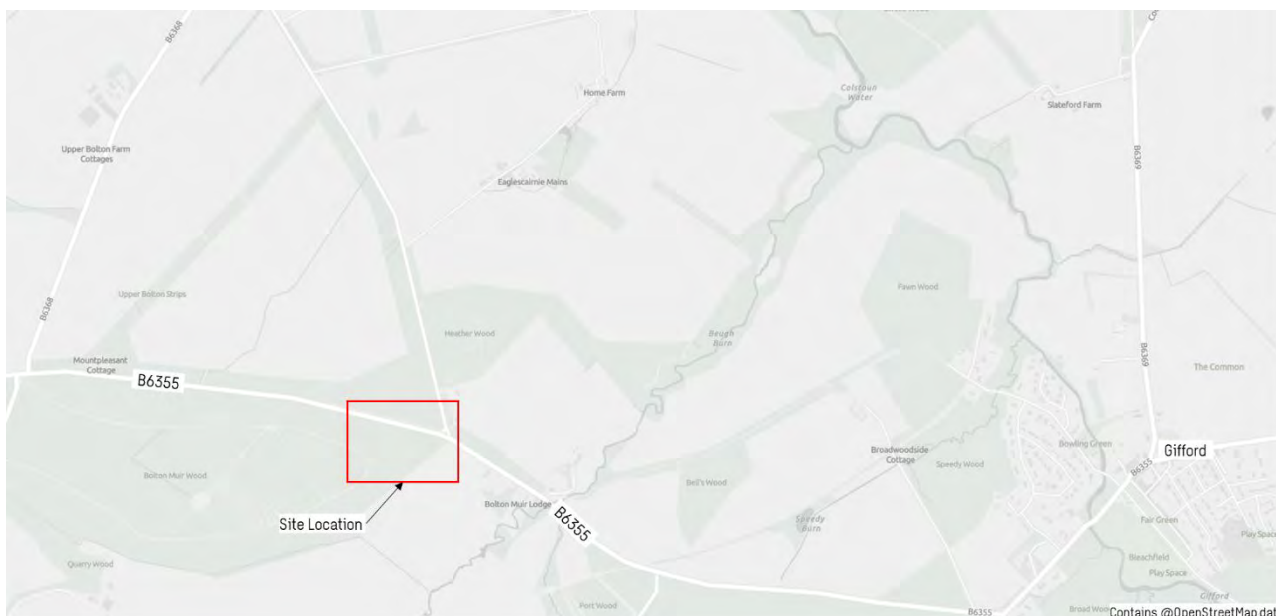


Figure 2.1 – Existing access track and cleared development site

As shown in **Figure 2.2** and reference drawing 2234 (PL) 003 provided in **Appendix A**, the proposed development is located on a cleared site within a woodland setting which formerly accommodated a residential property.

Bolton Muir Wood is an area of mixed woodland with potential for commercial opportunities which borders the proposed development site. Within the locality of the proposed development, land use is primarily agricultural and woodland, and there are several small villages which are residential centres for the area.



Figure 2.2 – Existing access track and cleared development site

2.2 Proposed Development

The site is proposed to be developed to include a woodworking workshop and studio and associated car park with allowance for 8no. parking bays as shown in **Figure 2.3** and reference drawing 2234 (PL) 003 provided in **Appendix A**.

The existing site access road will be retained and upgraded providing access to the development and will comprise of an unbound and compacted aggregate surface. The junction of the access track and B6355 is proposed to be developed to incorporate bellmouth radii and a 10m section of sealed asphalt surface extending a minimum of 10m into the access road from the edge of carriageway of the B6355.



Figure 2.3 – Proposed Development

The proposed development and access road is within land that is owned by Client as shown in **Figure 2.4**. This land extends from the back of public adopted verge and includes the access junction extents.

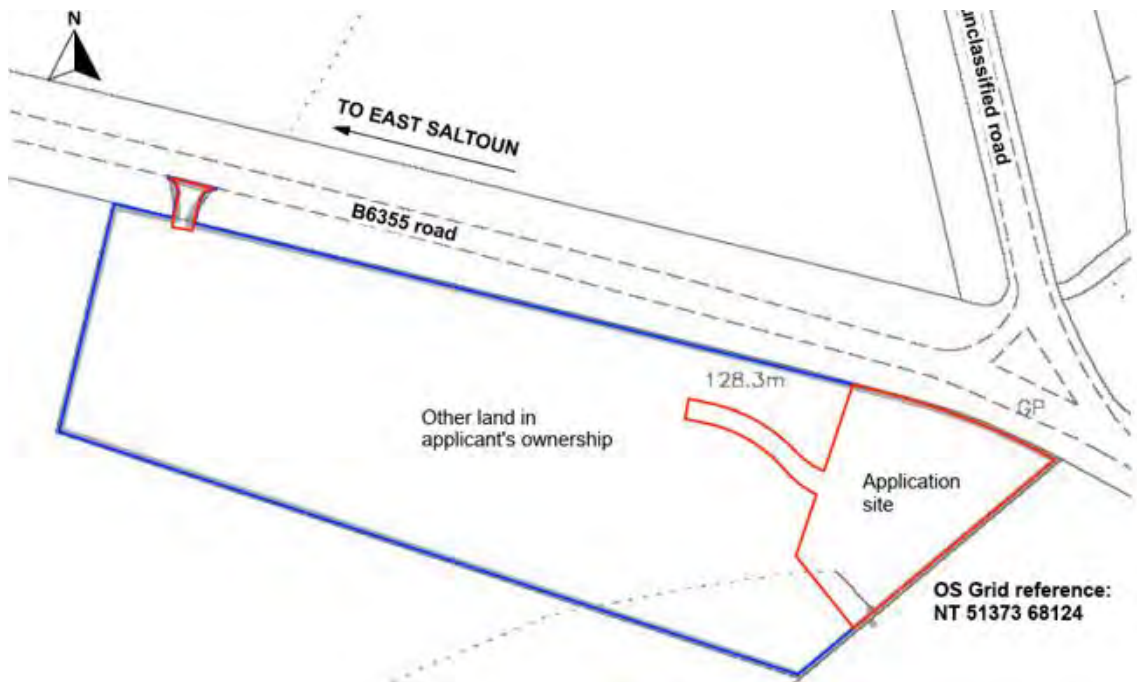


Figure 2.4 – Land owned by the Client.

3 Existing Transport Conditions

This chapter describes the existing transport conditions, covering access to the site by non-car modes, road geometry, current traffic levels, and accident analysis of the road network surrounding the site.

3.1 Sustainable Transport Access

The proposed development is located in a rural site which is approximately 2.5km from the closest urban area, the village of Gifford. Due to the rural nature of the site, whilst it is anticipated that the most common form of access will be via private vehicle, an assessment of opportunities to access the development by bicycle and public transport has also been undertaken.

3.1.1 Access to the site via Cycling

The development is located within a 30-minute cycle of National Cycle Route (NCR) 196 which can be accessed in Haddington or East Saltoun to the north and east of the proposed development. The NCR 76 is also located within a 30-minute cycle of the development, in Haddington. These routes provide an onward connection to and from various locations within East Lothian and Edinburgh.

It is therefore feasible that the proposed development may be accessed by those travelling by bicycle.

3.1.2 Access to the site via Public Transport

The development is adjacent to a bus route served by the 123 Haddington-Pencaitland Gifford Circular.

The closest indicated, but unmarked, bus stop to the proposed development is located approximately 500m east of the proposed development site on the B6355 at Inglisfield Cottage (Stop ID 5827979); however, given the rural nature of the site, there is potential for the bus to stop informally at the site (on demand) to allow passengers to board or alight.

This service operates at a timetable of up to 17no. buses per day at irregular intervals, therefore it is feasible that the proposed development may be accessed by those travelling by public transport.

3.2 Local Road Network

3.2.1 B6355

The B6355 is two-lane single carriageway which extends from Tranent in the north, to Chirnside in the south and provides one of the main access routes through the Lammermuir Hills. In the immediate vicinity of the proposed development, the road provides access between the villages of Gifford and East Saltoun.

The road provides a c.6m wide carriageway comprising of two traffic lanes of equal width with centre line road markings. The verges are narrow and closely bordered by dense woodland and foliage with the tree canopy also overhanging the road carriageway as shown in **Figure 3.1**.

The current posted speed limit of the road is 60mph.

The B6355 is extensively used by agricultural and timber traffic and provides a direct link to the A6093 and the A1. The road is also a bus route which is serviced by the 123 Haddington-Pencaitland Gifford Circular.



Figure 3.1 – B6355 showing existing access junction to development site

3.2.2 Unnamed and Unclassified Road

An unnamed and unclassified road connects to the B6355 adjacent to the proposed development site (as shown in Figure 1.1) and extends northwards towards the B6368 and the village of Bolton. This narrow, single carriageway road provides access to residential and agricultural properties. **Figure 3.2** shows the junction with the B6355, which is in the form of a Y-junction with a grassed central island, and there is also a field access directly opposite one of the junction arms on the opposing side of the B6355.



Figure 3.2 – Junction of B6355 and Unnamed and Unclassified Road

3.3 Existing Traffic Levels

A 7-day Automatic Traffic Count (ATC) Survey was commissioned for the B6355 at the approximate location of the existing access track junction between Sunday 12th November 2023 and Saturday 18th November 2023. This survey provided information regarding daily traffic levels and vehicle speeds on the B6355. **Table 3.1** summarises the results of the Survey.

Table 3.1 – ATC Survey Summary

| Location. | Direction. | Total Vehicles over a 7-day period. | Ave Daily traffic (over 5 days) | Ave Daily traffic (over 7 Days) | No. > Speed Limit. | %. > Speed Limit. | Mean Speed | 85%ile Speed |
|---------------------|--------------------|-------------------------------------|---------------------------------|---------------------------------|--------------------|-------------------|------------|--------------|
| B6355 east of B6368 | East | 3,103 | 466 | 443 | 301 | 9.7 | 49.6 | 57.7 |
| | West | 3,092 | 461 | 442 | 152 | 4.9 | 47.5 | 55.3 |
| | East West Combined | 6,195 | 927 | 885 | 453 | 7.3 | 48.5 | 56.4 |

As illustrated in **Table 3.1**, during the survey period a total number of 6,195 vehicles were recorded using the B6355 and passing by the existing access track junction. The average speed of these vehicles was approximately 48mph and the 85%ile speed was approximately 56mph. The 85%ile speed is the speed at or below which 85 percent of all vehicles are observed to travel under free-flowing conditions and is used as measure of the speeds the average road user is likely to travel at on the section or road in question.

3.4 Accident Analysis

CrashMap data was extracted to review any reported injury accident incidents on the surrounding road network for the most recent 5 years of data that was available (2018-2022). The data is shown in **Figure 3.3**.

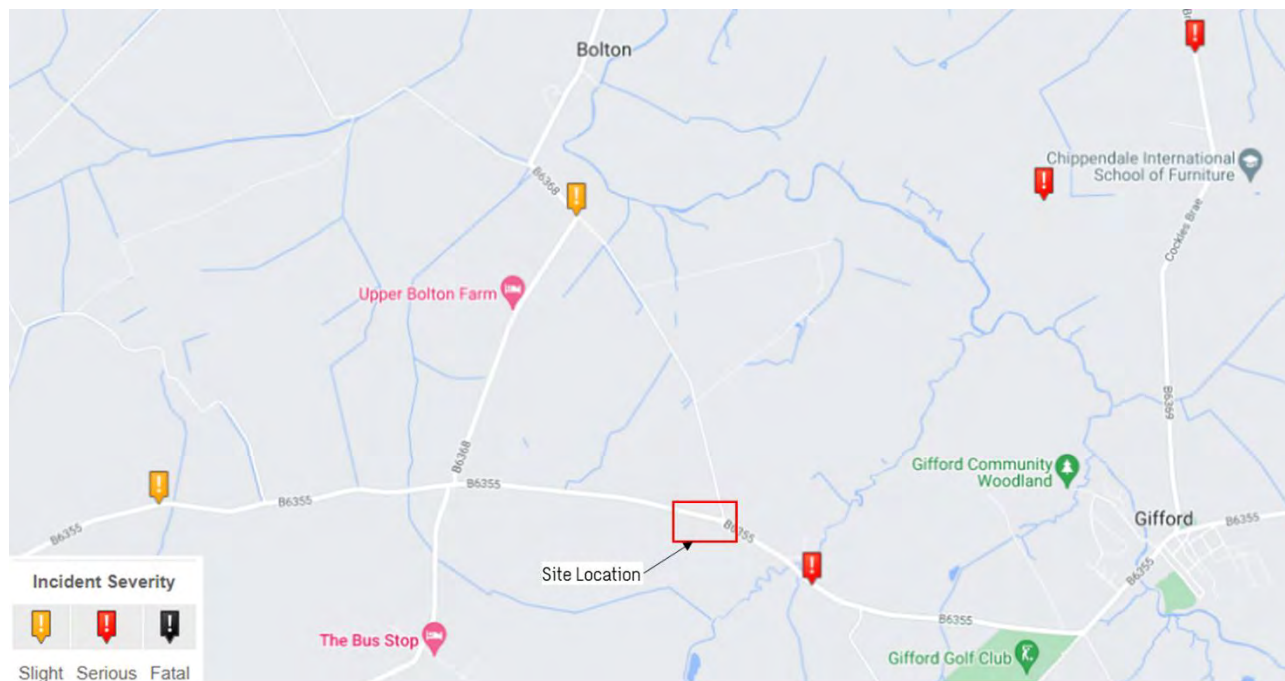


Figure 3.3 – CrashMap data

There are no reported injury accident incidents within the period 2018-2022 in the immediate vicinity of the site locality, however there are 2no. slight and 3no. serious incidents in the wider area. CrashMap shows there is no accident clusters during the period considered.

4 Vehicle Access Assessment

This chapter provides a high-level assessment of the impact of the development proposals on the existing road network and the layout of the development proposals with respect to the East Lothian Council Transport Infrastructure in New Developments design standard (“the design guidance”). This design standard provides guidance on transport infrastructure against which Planning Applications will be assessed and set out East Lothian Council's procedures regarding the construction and adoption of new roads in accordance with current legislation.

4.1 Vehicle Trip Generation

To estimate the vehicle trip rates associated with the proposed development, trip rates for employment and industrial sites with a similar parking provision located in suburban, edge of town and out of town areas were acquired from the TRICS database. A total of 8no. survey sites were obtained from the TRICS database which matched the criteria of the proposed development site and the data for these sites as shown in **Table 4.2**.

Table 4.2 - TRICS Database data for sites similar to the proposed development site

| Time Range | Arrivals | | | Departures | | | Total | | |
|-------------|----------|--------------|-----------|------------|--------------|-----------|----------|--------------|-----------|
| | No. Days | Ave. Parking | Trip Rate | No. Days | Ave. Parking | Trip Rate | No. Days | Ave. Parking | Trip Rate |
| 05:00-05:30 | 3 | 9 | 0 | 3 | 9 | 0 | 3 | 9 | 0 |
| 05:30-06:00 | 3 | 9 | 0.071 | 3 | 9 | 0 | 3 | 9 | 0.071 |
| 06:00-06:30 | 3 | 9 | 0.036 | 3 | 9 | 0 | 3 | 9 | 0.036 |
| 06:30-07:00 | 3 | 9 | 0.071 | 3 | 9 | 0.036 | 3 | 9 | 0.107 |
| 07:00-07:30 | 10 | 8 | 0.072 | 10 | 8 | 0 | 10 | 8 | 0.072 |
| 07:30-08:00 | 10 | 8 | 0.169 | 10 | 8 | 0.048 | 10 | 8 | 0.217 |
| 08:00-08:30 | 10 | 8 | 0.181 | 10 | 8 | 0.06 | 10 | 8 | 0.241 |
| 08:30-09:00 | 10 | 8 | 0.169 | 10 | 8 | 0.145 | 10 | 8 | 0.314 |
| 09:00-09:30 | 11 | 8 | 0.091 | 11 | 8 | 0.068 | 11 | 8 | 0.159 |
| 09:30-10:00 | 11 | 8 | 0.102 | 11 | 8 | 0.125 | 11 | 8 | 0.227 |
| 10:00-10:30 | 11 | 8 | 0.125 | 11 | 8 | 0.068 | 11 | 8 | 0.193 |
| 10:30-11:00 | 11 | 8 | 0.148 | 11 | 8 | 0.136 | 11 | 8 | 0.284 |
| 11:00-11:30 | 11 | 8 | 0.125 | 11 | 8 | 0.102 | 11 | 8 | 0.227 |
| 11:30-12:00 | 11 | 8 | 0.08 | 11 | 8 | 0.091 | 11 | 8 | 0.171 |
| 12:00-12:30 | 11 | 8 | 0.114 | 11 | 8 | 0.102 | 11 | 8 | 0.216 |
| 12:30-13:00 | 11 | 8 | 0.125 | 11 | 8 | 0.125 | 11 | 8 | 0.25 |
| 13:00-13:30 | 11 | 8 | 0.114 | 11 | 8 | 0.148 | 11 | 8 | 0.262 |
| 13:30-14:00 | 11 | 8 | 0.091 | 11 | 8 | 0.08 | 11 | 8 | 0.171 |
| 14:00-14:30 | 11 | 8 | 0.136 | 11 | 8 | 0.091 | 11 | 8 | 0.227 |
| 14:30-15:00 | 11 | 8 | 0.102 | 11 | 8 | 0.148 | 11 | 8 | 0.25 |
| 15:00-15:30 | 11 | 8 | 0.136 | 11 | 8 | 0.091 | 11 | 8 | 0.227 |
| 15:30-16:00 | 11 | 8 | 0.08 | 11 | 8 | 0.159 | 11 | 8 | 0.239 |
| 16:00-16:30 | 11 | 8 | 0.057 | 11 | 8 | 0.17 | 11 | 8 | 0.227 |
| 16:30-17:00 | 11 | 8 | 0.034 | 11 | 8 | 0.136 | 11 | 8 | 0.17 |
| 17:00-17:30 | 11 | 8 | 0.045 | 11 | 8 | 0.125 | 11 | 8 | 0.17 |

| | | | | | | | | | |
|--------------------------|----|---|--------------|----|---|--------------|----|---|--------------|
| 17:30-18:00 | 11 | 8 | 0.034 | 11 | 8 | 0.034 | 11 | 8 | 0.068 |
| 18:00-18:30 | 11 | 8 | 0.023 | 11 | 8 | 0.045 | 11 | 8 | 0.068 |
| 18:30-19:00 | 11 | 8 | 0.011 | 11 | 8 | 0.068 | 11 | 8 | 0.079 |
| 19:00-19:30 | 4 | 8 | 0.03 | 4 | 8 | 0.091 | 4 | 8 | 0.121 |
| 19:30-20:00 | 4 | 8 | 0.03 | 4 | 8 | 0.03 | 4 | 8 | 0.06 |
| 20:00-20:30 | 3 | 9 | 0 | 3 | 9 | 0.036 | 3 | 9 | 0.036 |
| 20:30-21:00 | 3 | 9 | 0 | 3 | 9 | 0.036 | 3 | 9 | 0.036 |
| Daily Trip Rates: | | | 2.602 | | | 2.594 | | | 5.196 |

From these surveys, it was estimated that the potential additional vehicle trips generated by the proposed development would equate to 3no. trips in the morning peak and 3no. trips in the evening peak. It is anticipated that most of these trips will be by those accessing the site for employment or for servicing of the proposed development.

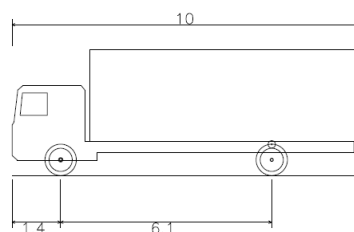
Therefore, considering the data obtained from the onsite ATC Survey provided in **Table 3.1** which illustrated that the B6355 experienced a 7-day average of 885 vehicle movements per day, there will be no impact on the operation of the surrounding road network because of the development proposal. In addition, it is anticipated that the access junction will be very lightly trafficked.

4.2 Junction Layout

As part of the development proposal, the existing junction will be upgraded to a simple major-minor priority junction with an asphalt road surface throughout the junction area extending 10m into the access road.

As per Section 3.1 of design guidance, the radii for the junction bellmouth should be determined by which vehicles use the junction regularly. These vehicles should be able to enter and exit the junction without obstructing other traffic however, it is noted that it is acceptable for larger vehicles to use the full width of the road if required.

For the proposed junction, it is assumed that the vehicle type with the most frequent use will be a car, however allowance must be made for use of the junction for servicing and deliveries. Therefore, the junction is designed to consider the swept path of goods and refuse vehicles, with the caveat that these vehicles can use the full width of the road to undertake manoeuvres at the junction. The design vehicle for swept path analysis is a Large Rigid Vehicle which is 2.5m wide and has a 6.1m wheelbase within an overall vehicle length of 10m as outlined in the Freight Transport Association's document "Designing for Deliveries". This vehicle is shown in **Figure 4.1**



| | |
|------------------------------------|---------|
| FTA Design HG Rigid Vehicle (1998) | |
| Overall Length | 10.000m |
| Overall Width | 2.500m |
| Overall Body Height | 3.645m |
| Min Body Ground Clearance | 0.440m |
| Track Width | 2.470m |
| Lock to lock time | 3.00s |
| Kerb to Kerb Turning Radius | 11.000m |

Figure 4.1 – Design Vehicle for access

4.2.1 Junction Layout Summary

Following swept path analysis for the Design Vehicle shown in **Figure 4.1** and drawing number 65211516-SWE-XX-XX-D-H-0001 provided in **Appendix B**, a 6m bellmouth radius is proposed for both the eastern and western bellmouths of the proposed major-minor priority junction to account for vehicle swept paths.

4.3 Junction Visibility

At major-minor priority junctions, full visibility should be provided over the extents shown in **Figure 4.2** as per Section 3.1.3 of the design guidance.

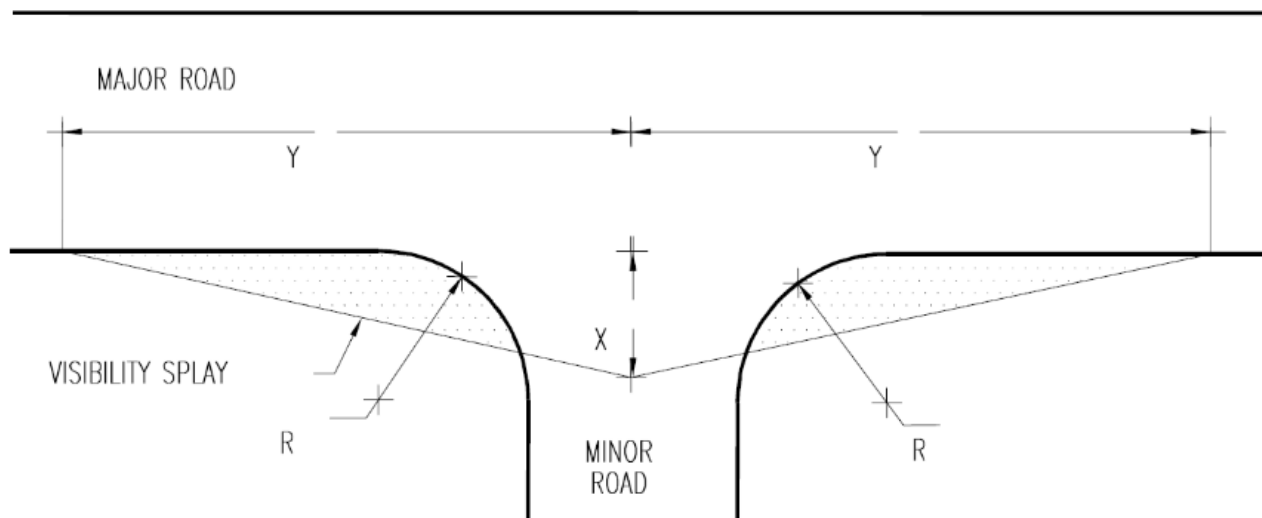


Figure 4.2 – Illustration of junction visibility

Full visibility refers to visibility from an eye height of 1.05m above the road surface (indicative of a driver's eye height in a standard car type vehicle) to a target height of 1.05m above the road surface at the relevant x-distance and y-distance which make up the visibility splay extents. The x-distance refers to the distance into the minor road from the intersection of the minor road centre line and the edge of carriageway of the major road, and the y-distance is from the x-distance location to a point on the edge of the carriageway at a defined distance. The y-distance is relative to the design speed of the major road. Both the x-distance and y-distance is defined in the design guidance and are presented in **Table 4.2**.

Table 4.2 - East Lothian Council Transport Infrastructure in New Developments Junction Visibility for Roads with a speed limit greater than 30mph

| Design Speed of Major Road | X-distance | Y-Distance |
|-----------------------------------|-----------------------------------|------------|
| 60kph (for a 30mph speed limit) | Desirable = 9m Absolute = 4.5m | 90m |
| 70 kph (for a 40mph speed limit) | Desirable = 9m Absolute = 4.5m | 120m |
| 85 kph (for a 50mph speed limit) | Desirable = 9m Absolute = 4.5m | 160m |
| 100 kph (for a 60mph speed limit) | Desirable = 9m Absolute = 4.5m | 215m |

For the proposed access junction, based on the design guidance and design speed of the B6355 as determined from the information obtained through a 7-day ATC Survey, the y-distance should be 215m.

During the desktop study, visibility splays compliant with the design guidance were identified and assessed, these splays are in drawing number 65211516-SWE-XX-XX-D-H-0002 provided in **Appendix B**. On the subsequent site visit, Sweco measured out the distances corresponding to the x-distance and y-distance of

the visibility splays and photographed the likely visibilities achievable from these points. The photographs taken on site are provided in **Appendix C**.

4.3.1 X-distance

To achieve the 9.0m desirable minimum or the 4.5m absolute minimum x-distance required by the design guidance, substantial clearance of vegetation and mature trees will be undertaken to both the north and south of the junction. This falls with the adopted road network and client land.

4.3.2 Y-distance

To both the north and south of the junction, a visibility distance of 160m can be achieved to the access junction location.

4.3.3 Junction Visibility Summary

Given the low traffic levels anticipated to use the junction, an x-distance of 4.5m has been used in the assessment. Based on an x-distance of 4.5m, a y-distance of 160m can be provided, which is a 1-step relaxation from the requirements for this speed of road.

It is estimated that the development will generate very low levels of traffic and to accompany the development proposal, it is proposed that the following measures are implemented:

- Vegetation clearance in the road verges to achieve the required visibility splays;
- Implementation of directional signage for the proposed woodworking workshop and studio. A rectangle-type sign should be used in advance of the junction and a flag-type sign should be used at the junction location to make road users aware of the access junction;
- Provision of junction warning signs to TSRGD Dia.506.1 position in advance of the junction in both directions to make road users aware of the access junction. An example of this sign type is shown in **Figure 4.3**, and;
- Provision of rumble strips, and/or “SLOW” road markings on approach to the junction area to assist in controlling vehicles speeds on the B6355 on approach to the junction.



Figure 4.3– Example of TSRGD Dia.506.1 side road ahead (Traffic Signs Manual Chapter 4)

5 Conclusions and Recommendations

5.1 Conclusions

Sweco was commissioned by Chapelhill Fine Furniture to prepare a Transport Statement to support a planning application for a proposed woodworking workshop and studio located in Bolton Muir Wood to the west of Gifford, East Lothian. As part of the overall development proposals, the existing junction of the site access road and B6355 is proposed to be formalised and upgraded and the access road partially amended.

A desk study of existing and proposed information concerning the proposed development site was undertaken, and this was supplemented by trip generation analysis, a site visit, and information obtained through the commission of a 7-day Automatic Traffic Count Survey (ATC).

Through analysis of the trip generation data, it was estimated that the proposed development will generate a minimal number of extra daily vehicle trips to the road network, similar to a daily variation in traffic levels.

The ATC highlighted that the 85th percentile speed of traffic using the B6355 at the location of the development site was approximately 56mph, which is consistent with the posted 60mph speed limit of the road and general character of the road. As such the design speed of the road at this location should match the speed limit.

Referring to the East Lothian Council Transport Infrastructure in New Developments design standard, the junction form was assessed and the requirements for the junction geometry and visibility identified.

The junction between the access road and the B6355 is proposed to be upgraded to a major-minor priority junction with 6.0m bellmouth radii to accommodate the swept paths of a Large Rigid Vehicle.

A junction visibility splay consisting of on an x-distance of 4.5m and a y-distance of 160m can be provided. The 160m y-distance is a 1-step relaxation from the requirements for this speed of road, however a compliant y-distance of 215m is not achievable due to the existing geometry of the B6355.

There are currently no operational, capacity or safety issues on the road network surrounding the site which would indicate a concern regarding the achievable visibility at the junction, and the junction will be very lightly trafficked as a result of the development proposal.

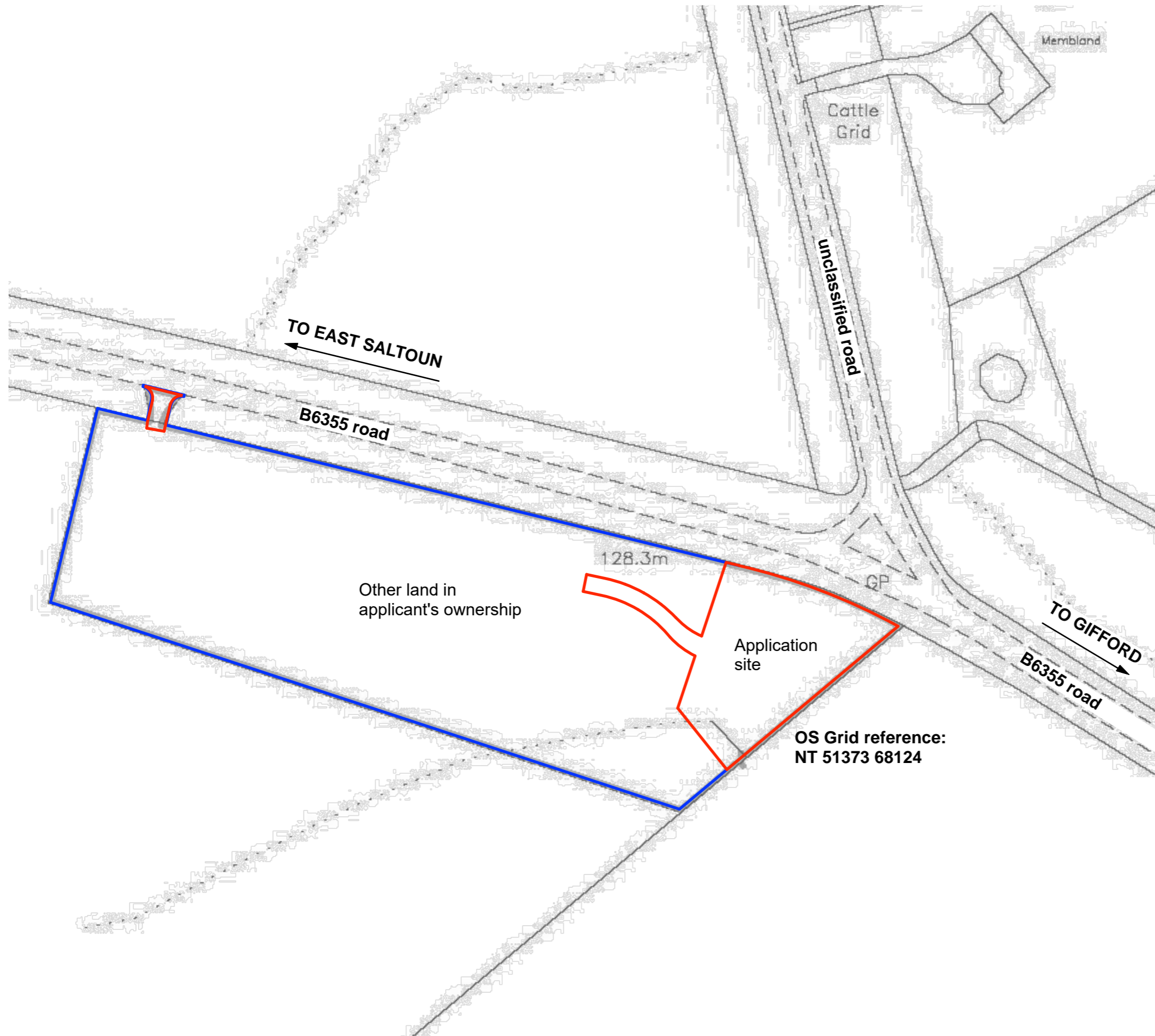
In addition to access to the site by private vehicle, there is also opportunities to access the site by bike or public transport.

5.2 Recommendations

Following the assessment undertaken as part of this Transport Statement, it is proposed:

- The existing access junction from the B6355 to the site access road is upgraded to a major-minor priority junction with 6m junction bellmouth radii. This form will accommodate movements associated with a Large Rigid Vehicle;
- Vegetation clearance is implemented in the verges of the B6355 such that the visibility splay for the access junction is not impeded, and;
- A one-step relaxation in junction visibility y-distance is agreed with the East Lothian Council Roads Authority as a 215m y-distance compliant with the East Lothian Council Transport Infrastructure in New Developments design standard for a design speed of 100kph (60mph) is not achievable due to the horizontal and vertical curvature of the existing B6355 alignment.

Appendix A – Planning Drawings

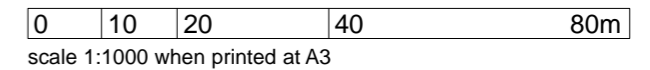


Notes

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Scale



Key

- Site boundary
- Other land in applicant's ownership

Issue / revision

| | | |
|---|----------|-------------------------------|
| - | 19.10.22 | Planning issue |
| A | 11.11.22 | Ownership boundary amended. |
| B | 21.11.22 | Application boundary amended. |

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Job Title

Furniture making studios

Location

Bolton Muir Wood

Drawing Title

Location plan

Drawing Status

PLANNING

Drawing Number

2234 (PL) 002

Scale
1:1000 @ A3

Date
Sept 2022

Drawn
RS

Revision

B

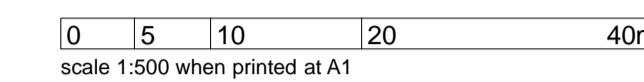
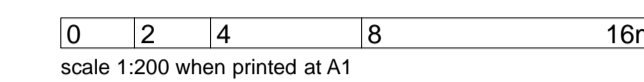
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Notes

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Scale

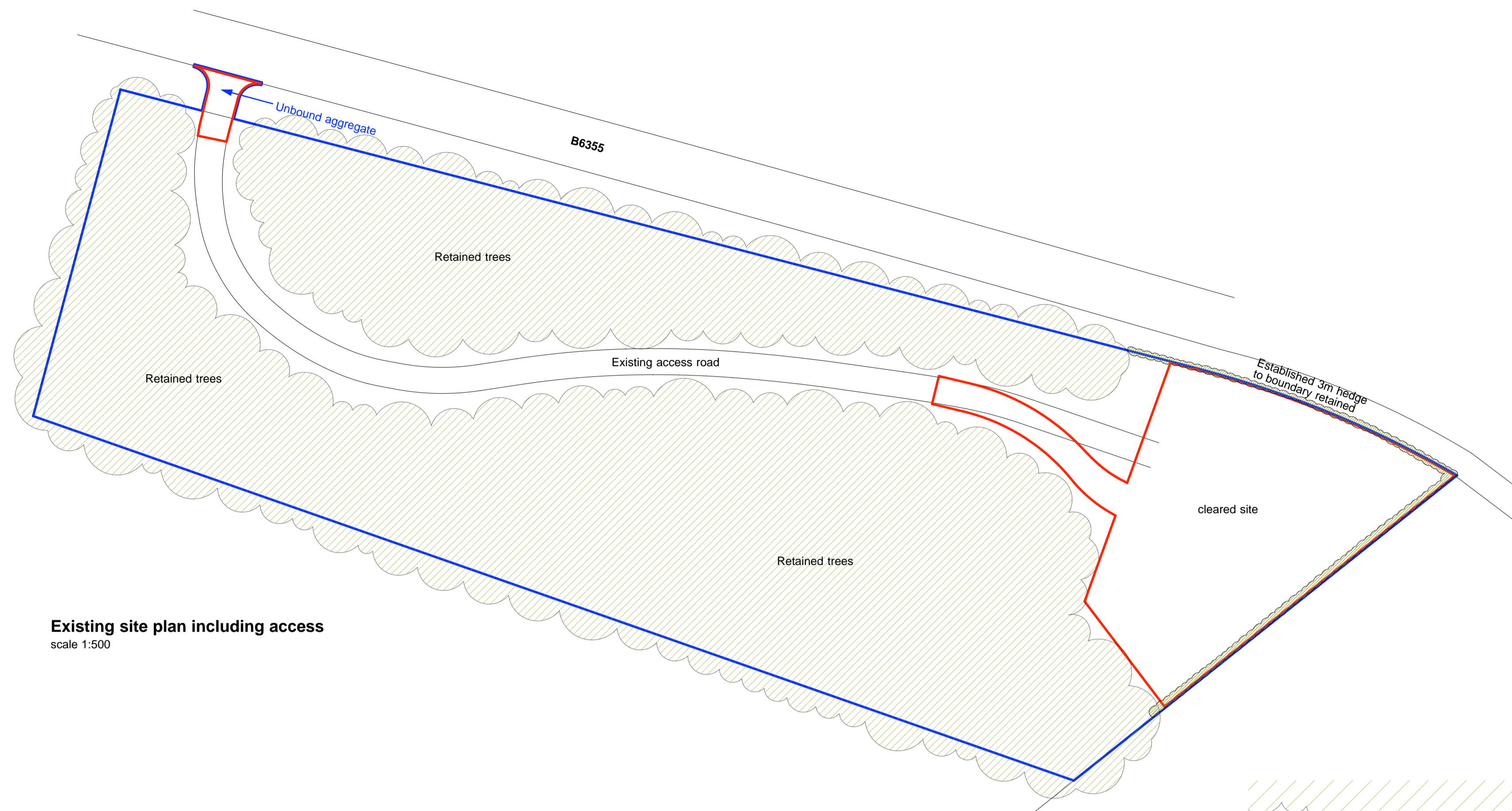


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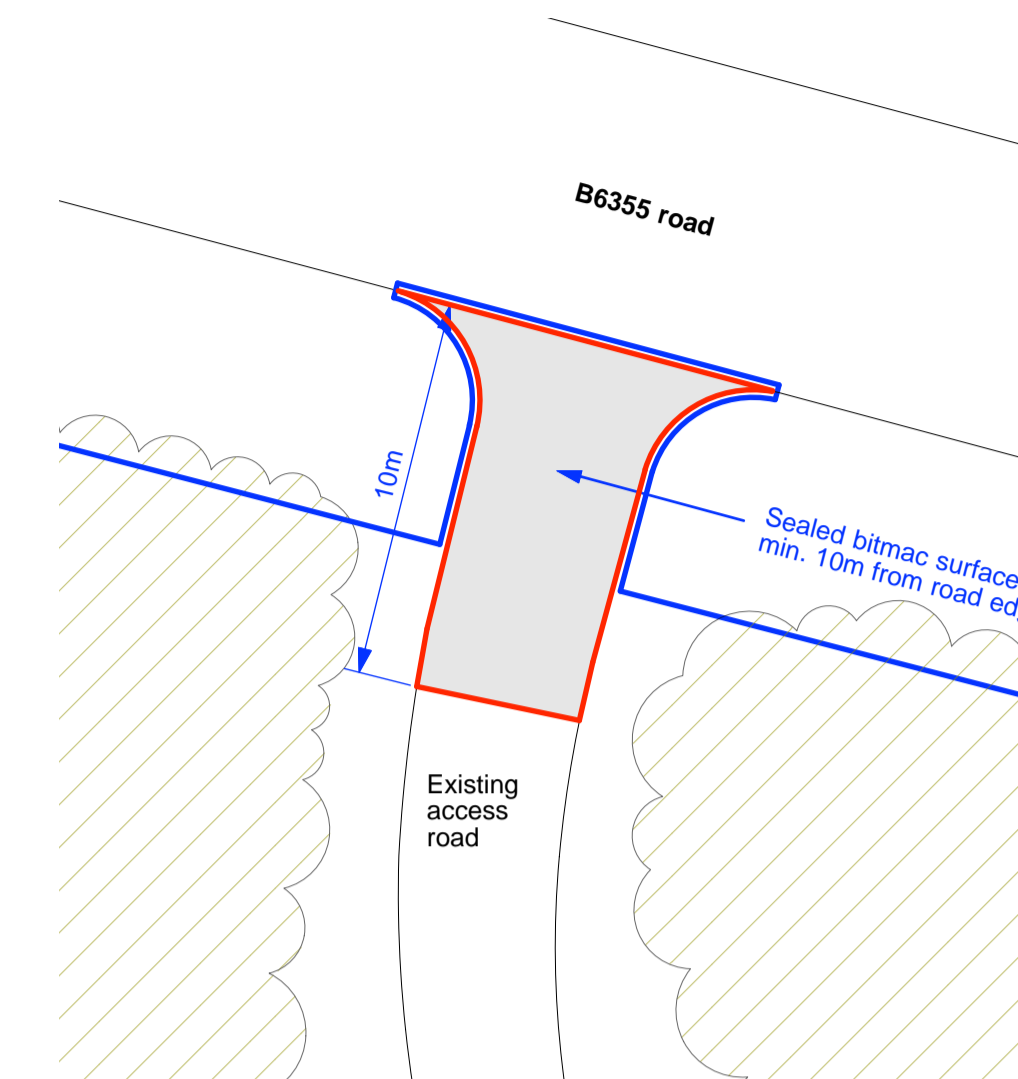
- Site boundary
- Other land in applicant's ownership

Issue / revision

| Issue / revision | Date | Description |
|------------------|----------|---|
| - | 19.10.22 | Planning issue |
| A | 11.11.22 | Existing site plan added, ownership boundary amended, surface materials added |
| B | 21.11.22 | Application boundary amended, 1:200 plan of area to road edge added |



Existing site plan including access
scale 1:500



Proposed site / block plan 1
scale 1:200



Proposed site plan including access
scale 1:500



Proposed site / block plan 2
scale 1:200

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Job Title
Furniture making studios

Location
Bolton Muir Wood

Drawing Title
Site / block plans

Drawing Status
PLANNING

Drawing Number
2234 (PL) 003

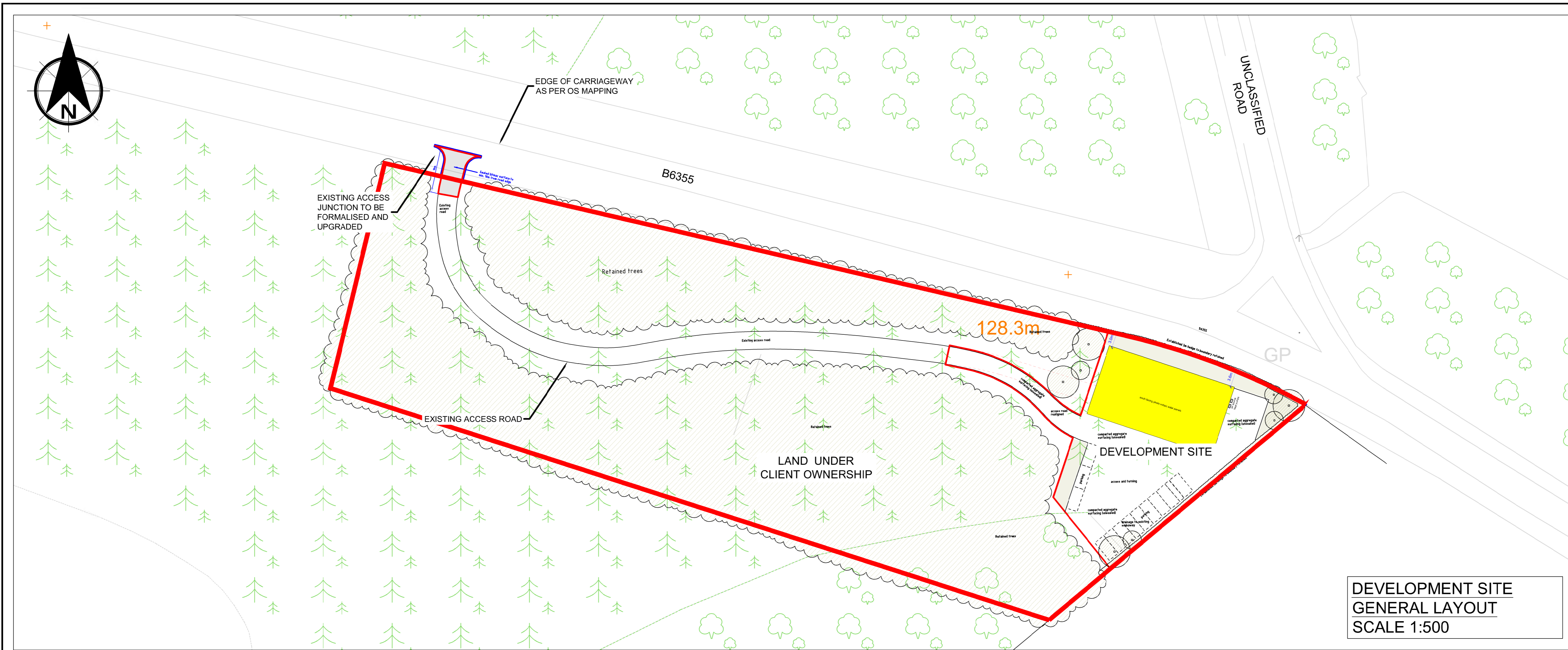
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Revision
B

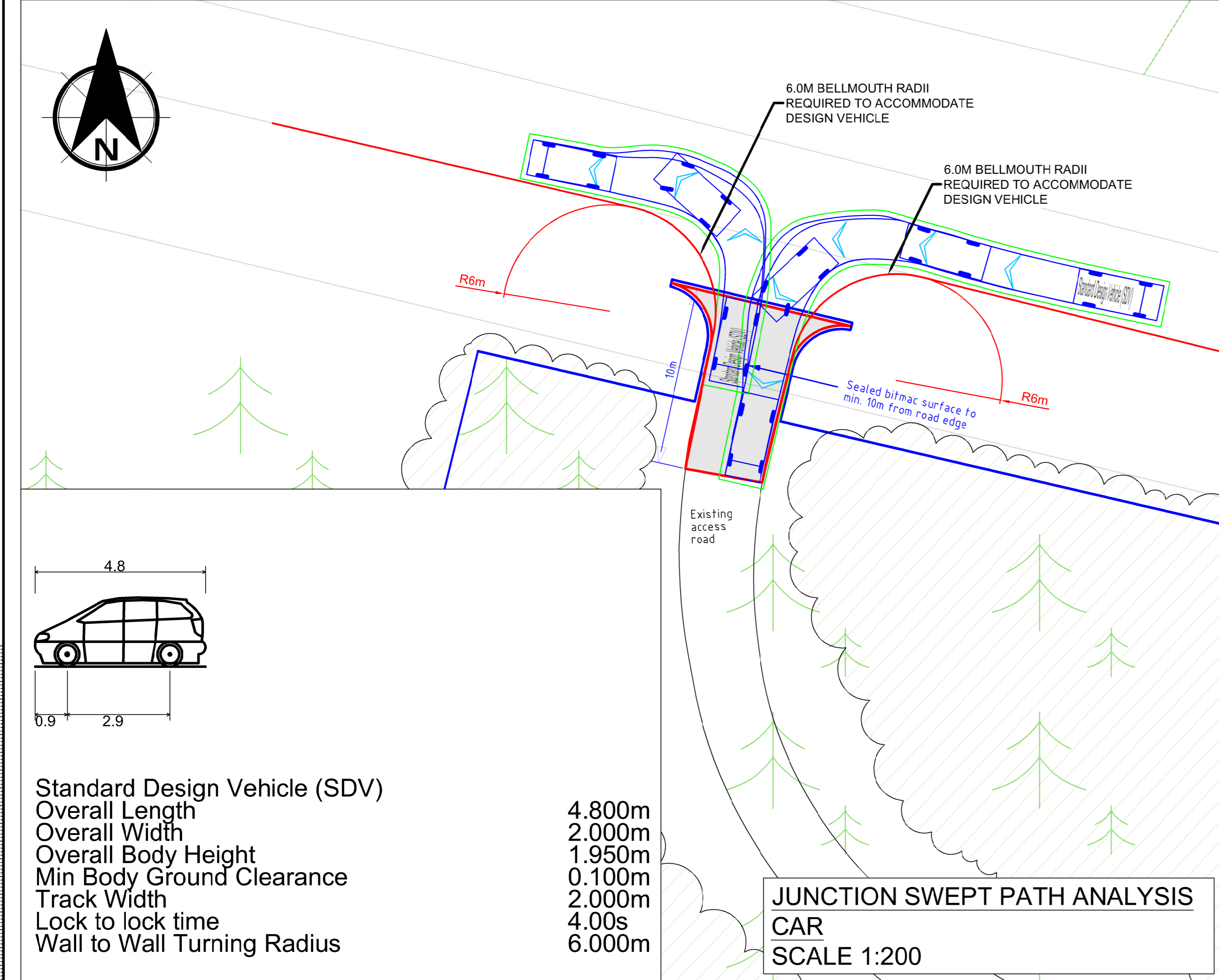
Appendix B – Sweco Drawings

NOTES

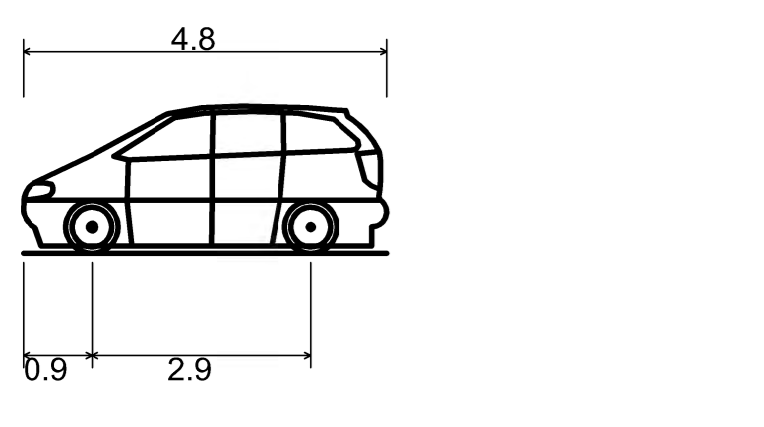
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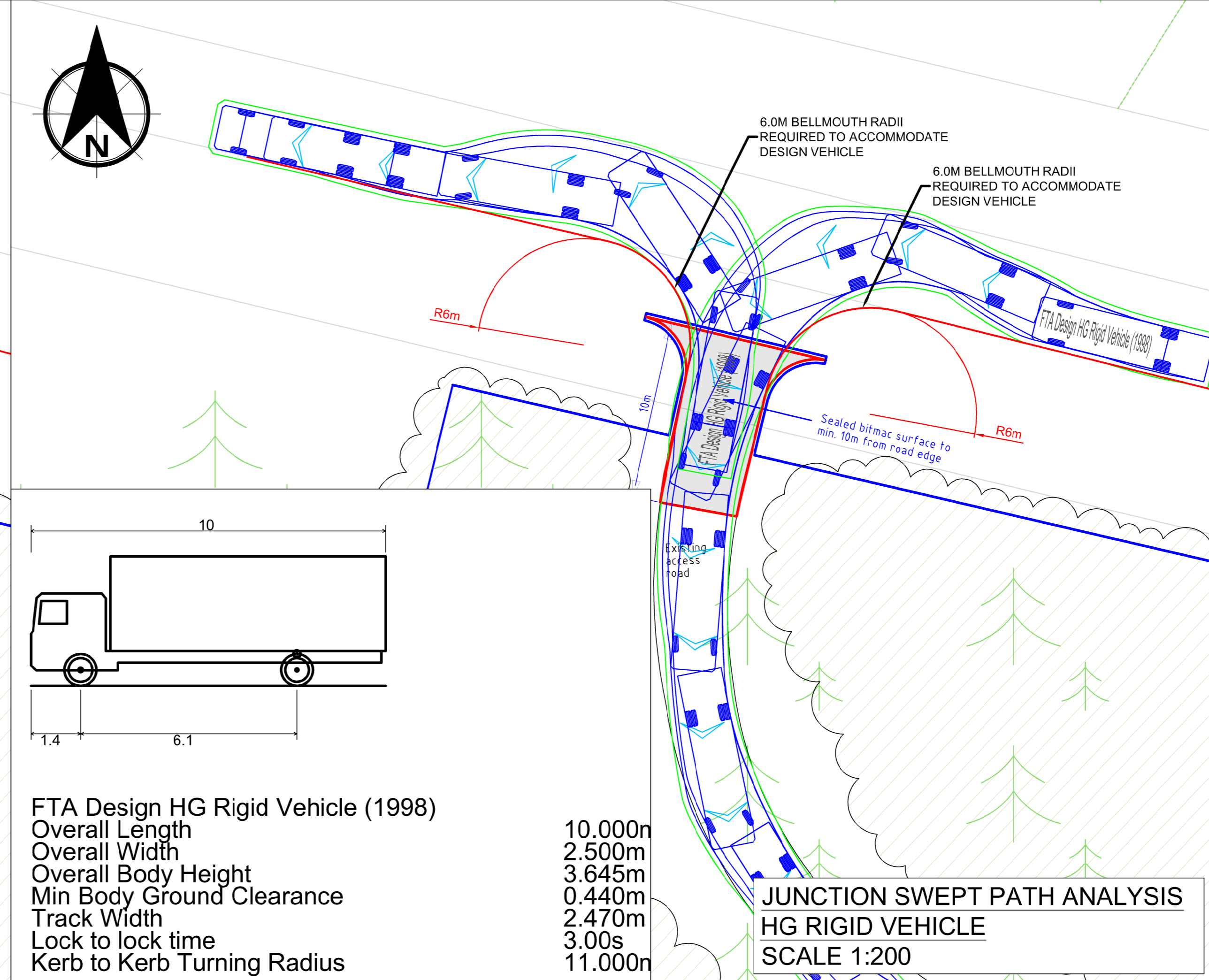
**DEVELOPMENT SITE
GENERAL LAYOUT
SCALE 1:500**



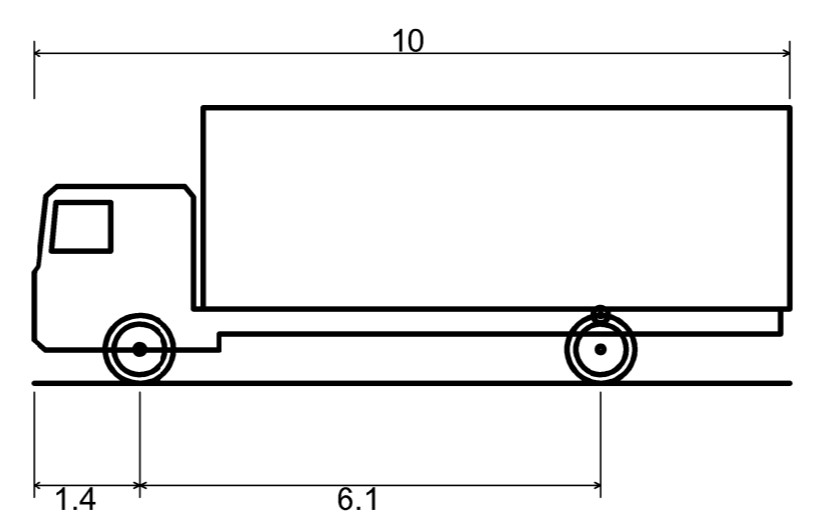
**JUNCTION SWEEP PATH ANALYSIS
CAR
SCALE 1:200**



Standard Design Vehicle (SDV)
 Overall Length 4.800m
 Overall Width 2.000m
 Overall Body Height 1.950m
 Min Body Ground Clearance 0.100m
 Track Width 2.000m
 Lock to lock time 4.00s
 Wall to Wall Turning Radius 6.000m



**JUNCTION SWEEP PATH ANALYSIS
HG RIGID VEHICLE
SCALE 1:200**



FTA Design HG Rigid Vehicle (1998)
 Overall Length 10.000m
 Overall Width 2.500m
 Overall Body Height 3.645m
 Overall Body Height 0.440m
 Track Width 2.470m
 Lock to lock time 3.00s
 Kerb to Kerb Turning Radius 11.000m

| | | | | | |
|-----|------------|-------------------|------|------|------|
| P01 | 08.12.2023 | FIRST ISSUE | RWE | RM | RM |
| Rev | Date | Amendment Details | Dr'n | Chk' | App' |

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Client
IAIN STIRLING

Project Title
**BOLTON MUIR
 GIFFORD**

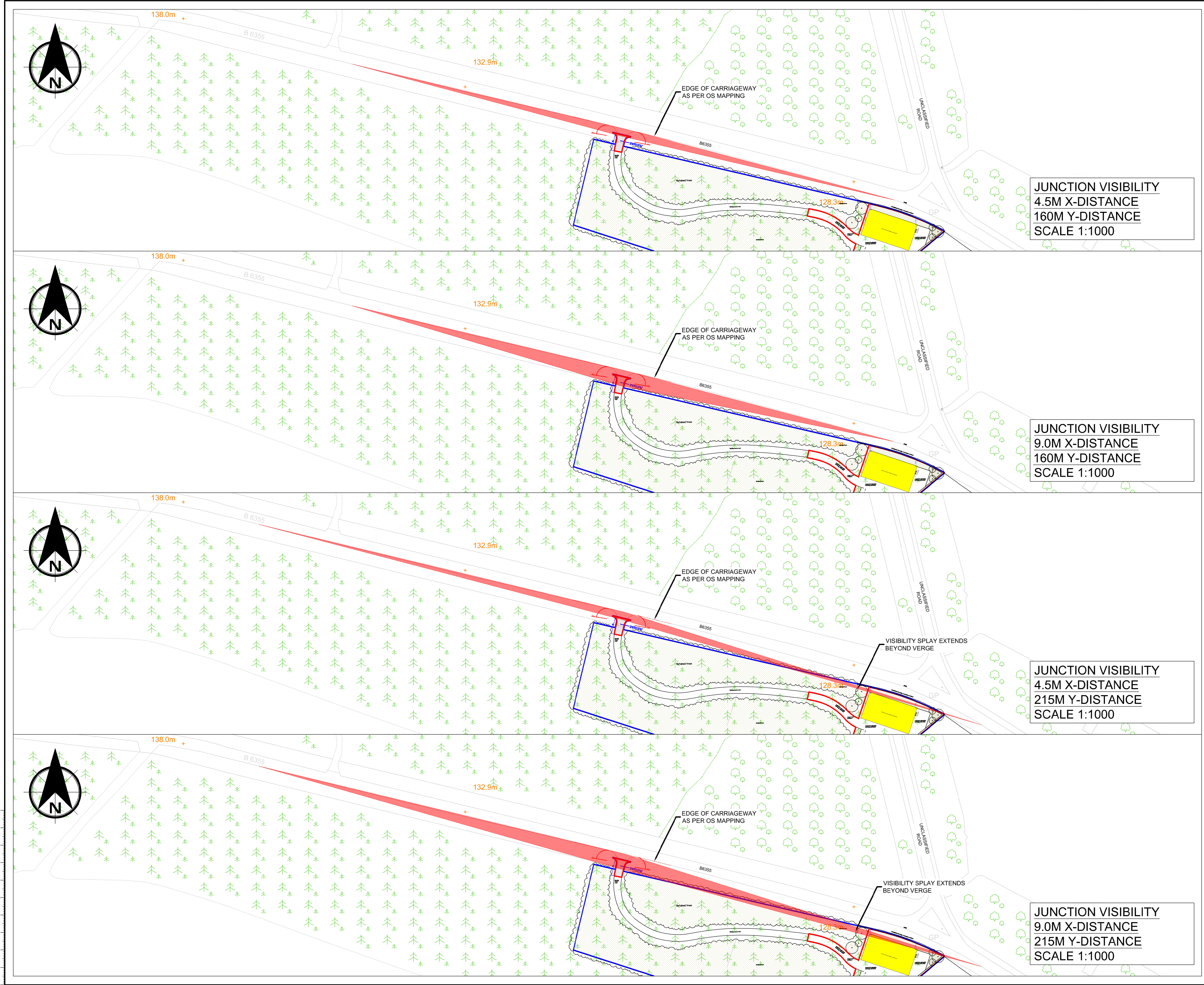
Drawing Title
**TRANSPORT NOTE
 DRAWING 1 OF 2**

Purpose Of Issue
PRELIMINARY

| | | | |
|--------|----|--------------------|-----------------|
| Status | S2 | Status Description | FOR INFORMATION |
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Drawing Number
65211516-SWE-XX-XX-D-X-001



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JUNCTION VISIBILITY
4.5M X-DISTANCE
160M Y-DISTANCE
SCALE 1:1000

JUNCTION VISIBILITY
9.0M X-DISTANCE
160M Y-DISTANCE
SCALE 1:1000

JUNCTION VISIBILITY
4.5M X-DISTANCE
215M Y-DISTANCE
SCALE 1:1000

JUNCTION VISIBILITY
9.0M X-DISTANCE
215M Y-DISTANCE
SCALE 1:1000

| P01 | 08.12.2023 | FIRST ISSUE | RWE | RM | RM |
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Client
IAIN STIRLING

Project Title
**BOLTON MUIR
 GIFFORD**

Drawing Title
**TRANSPORT NOTE
 DRAWING 2 OF 2**

Purpose Of Issue
PRELIMINARY

Status: **S2** Status Description: **FOR INFORMATION**

| | | | |
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65211516-SWE-XX-XX-D-X-0002

Appendix C – Site Observations



X= 0.0m (north)

X= 2.0m (north)

X= 4.5m (north)

X= 9.0m (north)

Figure C.1 – North facing junction visibility from x-distance intervals

[Note: During the site visit, the only safe location to park the Sweco operative's vehicle was within the existing access junction extents and therefore the vehicle impeded the ability to obtain unobstructed photographs of the northward x-distance]



X= 0.0m (south)

X= 2.0m (south)

X= 4.5m (south)

X= 9.0m (south)

Figure C.2 – South facing junction visibility from x-distance intervals



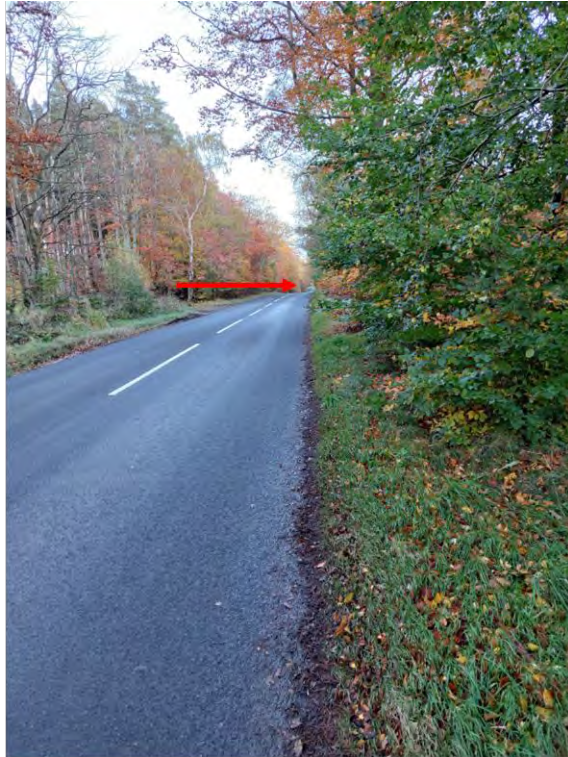
Y= 90m (north)



Y= 120m (north)

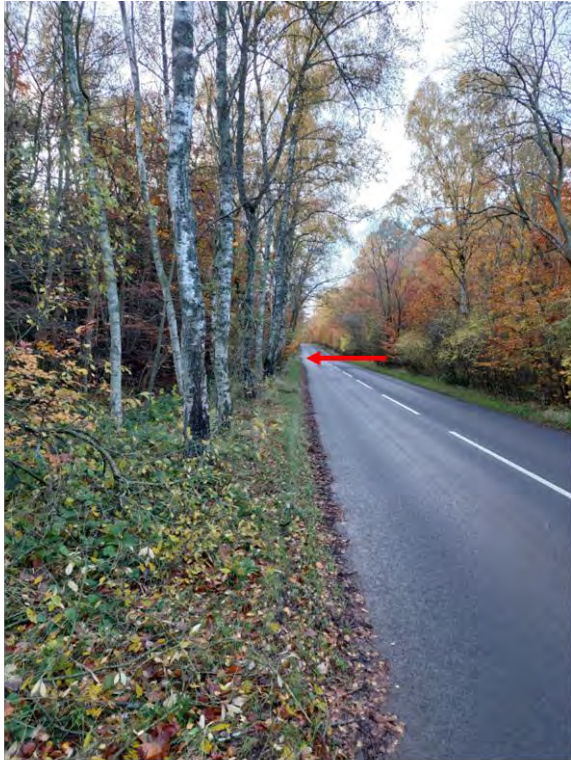


Y= 160m (north)



Y= 215m (north)

Figure C.3 – Visibility at y-distance intervals from the north of the junction
 [A red arrow has been shown to indicate the approximate location of the access junction.]



Y= 90m (south)



Y= 120m (south)



Y= 160m (south)



Y= 215m (south)

Figure C.4 – Visibility at y-distance intervals from the south of the junction
 [A red arrow has been shown to indicate the approximate location of the access junction.]



TD Tree & Land Services Ltd Platform 1
Station Road Industrial Estate Duns
Berwickshire TD11 3HS
WWW.TDTrees.co.uk

Arboricultural Impact Assessment

For Bolton Muir Wood

November 2023

By Toby Wingham

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Scope

TD Tree & Land Services Ltd have been instructed by Chapelhill fine furniture to carry out a survey at Bolton Muir Wood and produce a report on the Arboricultural impacts in accordance with British Standard BS:5837 Trees in relation to Design, Demolition and Construction – Recommendations.

This is to provide information to accompany a planning application. Findings from field and desk-top surveys are described and the effects that granting planning permission would entail for arboriculture within influencing distance of the development.

The survey, finished by 3rd August and the following report were completed by Toby Wingham, appointed arboricultural Consultant at TD Tree & Land Services Ltd. The report was technically proofed by Patrick Rechberger, Consultancy Manager of TD Tree & Land Services Ltd and suitably qualified Arboriculturist.

A topographical survey was not available therefore all tree locations mapped are approximate to 2.5m and their locations were estimated using aerial photography and on-site observations.

Limitations

- The findings of this report are valid for a period of 12 months from the date of issue.
- Trees are living organisms that are constantly growing and changing – it is important that they are inspected regularly. Extreme climatic conditions can cause damage to even apparently healthy trees.
- Whilst reasonable effort has been made to detect defects within the individual trees inspected, no guarantee can be given as to the absolute safety or otherwise of any individual tree.
- No soil, foliage or root samples were taken for analysis as well as
- no decay measurement techniques were used during this survey – should this be required; recommendations will be stated below.
- Any duration or timescales mentioned in this report should be viewed as a maximum and not optimum timeframe.
- It is assumed there has been no significant change to the immediate environment that may affect the tree stock. Any change being made following the survey may invalidate the report and require reinspection.
- Any alteration of this report will therefore invalidate it. No responsibility is assumed by TD Trees and their consultants for legal matters that may arise from this report. The consultant shall not be required to give testimony or to attend court unless subsequent contractual arrangements are made.

- The information provided within this report relates to the specific tree risk survey provided and should not be used or interoperated for any other circumstances. This includes but not limited to planning applications and developments, tree related subsidence, utilities, or the design of foundations.

Methodology

All trees with a diameter at breast height (DBH) of 75mm within the survey area were inspected using the method of ‘Visual Tree Assessment- type 1’ or in short ‘VTA1’ (Mattheck and Breloer, 1994). VTA is an internationally recognised form of tree assessment for the tree inspector. It confirms defects, construes potential hazards, and assesses criteria of failure. The VTA – type 1 gives information relating to the body language and mechanics of a tree and helps to distinguish between potentially hazardous trees and extremely hazardous trees, protecting safe trees.

The process consists of inspecting the trees visually from the ground for growth defects, any variations of appearance of the bark and any alterations in the crown and leaves. Fungal fruiting bodies and their body language as well as the local environment of the tree are considered for the assessment. The individual tree data including its location was recorded using the PlanIT Geo, Treeplotter software. The height of the trees was measured using Haglöl EC II D Electronic Clinometer, crown spread was estimated. Diameter at breast height (DBH) was measured using Arboricultural diameter and circumference measuring tape.

Whilst reasonable effort has been made to ensure accuracy of the data, especially in inaccessible areas, it cannot be guaranteed.

The Site

Address

Bolton Muir Wood

Gifford

East Lothian

EH41 4JT

Grid Reference at Centre: NT 51373 68127

Description

The site is adjacent to the B6355. The land is currently in use as unused woodland. The area of focus is approximately 10,002m² in size approx.



Figure A: Location and approximate boundary

Tree Survey

All arboriculture information recorded during the site survey is present in [Appendix 2 – Data Tables](#). Feature locations, comments on tree condition and recommended works.

In total 24 individual trees (T1-T24); 2 woodlands (W1 – W2); and 3 hedgerows (H1 – H3) were surveyed and mapped.

There are a variety of different species on the site including Scots Pine (*Pinus sylvestris*), Sycamore (*Acer pseudoplatanus*), Common Ash (*Fraxinus excelsior*), Silver Birch (*Betula pendula*), Larch

(*Larix decidua*) and Goat Willow (*Salix caprea*). The tree stock's age ranges from young to mature and the majority are in good condition but there are exceptions to this. T2 is a mature Sycamore located adjacent to the proposed development and has symptoms of decay and *Kretzschmaria deusta*, a fungus affecting the integrity of the tree by decaying the roots and base.

Towards the entrance of the site on each side of the driveway adjacent to the B6355 there are five Silver Birch and one Goat Willow.

A check with East Lothian Council has noted no tree preservation orders on and surrounding the site. The site is not within a conservation area.

Root Protection Areas (RPA)

A root protection area is the minimum area around each tree, group or woodland that must be retained and undisturbed to ensure survival.

The RPA's have been calculated in accordance with BS5837 using the diameter of each feature at a height of 1.5m, referred to as diameter at breast height (DBH).

Protection, designation, and constraints

National Planning Framework (NPF 4)

The fourth National Planning Framework has been adopted in February 2023 and supersedes the NPF 3 and Scottish Planning Policy. It is intended as a long term plan, guiding spatial development, designating national development and setting out national planning policies.

Its Policy 6 covers trees and woodlands and states:

Local Development Plans: LDPs should identify and protect existing woodland and the potential for its enhancement or expansion to avoid habitat fragmentation and improve ecological connectivity, helping to support and expand nature networks. The spatial strategy should identify and set out proposals for forestry, woodlands and trees in the area, including their development, protection and enhancement, resilience to climate change, and the expansion of a range of types to provide multiple benefits. This will be supported and informed by an up to date Forestry and Woodland Strategy.

Policy 6

- a) Development proposals that enhance, expand and improve woodland and tree cover will be supported.
- b) Development proposals will not be supported where they will result in:
 - i. Any loss of ancient woodlands, ancient and veteran trees, or adverse impact on their ecological condition;

ii. Adverse impacts on native woodlands, hedgerows and individual trees of high biodiversity value, or identified for protection in the Forestry and Woodland Strategy;

iii. Fragmenting or severing woodland habitats, unless appropriate mitigation measures are identified and implemented in line with the mitigation hierarchy;

iv. Conflict with Restocking Direction, Remedial Notice or Registered Notice to Comply issued by Scottish Forestry.

c) Development proposals involving woodland removal will only be supported where they will achieve significant and clearly defined additional public benefits in accordance with relevant Scottish Government policy on woodland removal. Where woodland is removed, compensatory planting will most likely be expected to be delivered.

d) Development proposals on sites which include an area of existing woodland or land identified in the Forestry and Woodland Strategy as being suitable for woodland creation will only be supported where the enhancement and improvement of woodlands and the planting of new trees on the site (in accordance with the Forestry and Woodland Strategy) are integrated into the design.

([National Planning Framework 4 \(www.gov.scot\)](http://www.gov.scot))

Local Planning Policy

East Lothian council has adopted the Local Development Plan 2018, which in relation to trees states:-

Policy NH8: Trees and Development

There is a strong presumption in favour of protecting East Lothian's woodland resources. Development affecting trees, groups of trees or areas of woodland will only be permitted where:

a. any tree, group of trees or woodland that makes a significant positive contribution to the setting, amenity of the area has been incorporated into the development through design and layout, and wherever possible such trees and hedges should be incorporated into public open space and not into private gardens or areas; or

b. (i) in the case of woodland, its loss is essential to facilitate development that would achieve significant and clearly defined additional public benefits in line with the Scottish Governments Policy on Control of Woodland Removal; in particular the loss of Ancient Woodland will not be supported; or (ii) in the case of individual trees or groups of trees, their loss is essential to facilitate development that would contribute more to the good planning of the area than would retaining the trees or group of trees.

Development (including extensions to buildings) must conform to British Standard 5837:2012 Guide for Trees in Relation to Design, Demolition and Construction, or any subsequent revisions.

https://www.eastlothian.gov.uk/downloads/file/27791/local_development_plan_2018_adopted_270918

Tree Preservation Orders (TPO) and Conservation Areas (CA)

A check with East Lothian Council was carried out on 11th August. Sarah Cheyne who is part of the Landscape team for planning services at East Lothian Council confirmed no tree preservation orders are present on site and the site does not lie within a conservation area.

Third Party Trees

No trees identified within this survey area are present on third party land.

Sites of Special Scientific Interest (SSSI)

A check with the Registers of Scotland confirmed no SSSI sites on or immediately adjacent to the site.

[Register of Sites of Special Scientific Interest - Registers of Scotland \(ros.gov.uk\)](https://ros.gov.uk)

Ancient Woodland

Ancient woodlands are irreplaceable habitats with exceptional value. A desktop search ([Map Results | Woodlandr](#)) confirmed a long established woodland of plantation origin (LEPO) immediately adjacent to the site.

Long-established woodlands of plantation origin (LEPO) are “interpreted as plantation from maps of 1750 (1b1) or 1860 (2b) and continuously wooded since. Many of these sites have developed semi-natural characteristics, especially the oldest ones, which may be as rich as Ancient Woodland.” (NatureScot, no date)

However, origins of the AWI are the Roy maps (c1750) and the OS 1st edition (c1860) and should therefore not be seen as a definite and treated with care. ground observations on site, such as presence or absence of ancient woodland indicator plants may further guide the evaluation of woods.

On site observations, considering the species composition and approximate age of the woodland as a whole as well as specific specimen, confirmed the desktop findings.

Ancient and Veteran Trees

There is no national register of ancient or veteran trees. The woodland trust has a database that maintains an inventory of significant trees, to which no trees were registered to the site.

[Tree Search - Ancient Tree Inventory \(woodlandtrust.org.uk\)](https://woodlandtrust.org.uk)

An assessment of each tree was made by a qualified arboriculturist during the survey, to which no trees within the surveyed areas were regarded as veteran or ancient.

Scottish Biodiversity List

The Scottish Biodiversity list supersedes the former UK BAP Priority Habitats Inventory on a national level. It is a list of animals, plants and habitats that are of principal importance for biodiversity in Scotland. [Scottish Biodiversity List | NatureScot](#)

The list has no records of designated deciduous woodland, traditional orchards, woodland pasture and parkland on or adjacent to the site.

Felling Permission

The Forestry and Land Management (Scotland) Act 2018 forms the legal basis for the regulation of forestry in Scotland and includes the requirement to be in possession of a Felling Permission to fell trees. The *Forestry (Exemptions) (Scotland) Regulations 2019* and *The Felling (Scotland) Regulations 2019* include further detailed provisions about the operations of Felling Permission procedures. You must apply for Felling Permission if you wish to fell a tree unless the felling is exempt. A check with your local FC Officer will confirm this. ([Scottish Forestry - Felling permissions](#))

Protected Species

The Nature Conservation (Scotland) Act 2004, the *Wildlife and Natural Environment (Scotland) Act 2011* and the *Habitats Regulations 1994* provides statutory protection for many species, including bats and birds, which can reside in trees.

Bats

To obstruct access to, damage or destroy any structure or place which is used for shelter or protection, breeding, or resting by a bat is a criminal offence. If any works are to be carried out that may affect such, professional advice should be sought by a licenced ecologist.

Birds

It is a criminal offence to intentionally harm wild birds, their eggs or a nest that is in use or being built. Carrying out works that may interfere with such, should be assessed to comply with the law and advice should be sought by a qualified ecologist.

Bird nesting season is officially from February until August inclusive (NatureScot) and it is recommended that all vegetation works, including tree works and site clearance should be done outside of the nesting season. However, the nesting period may start before this and extend beyond it. Consideration must be taken outside of the official nesting season to not impact the habitat in which young birds are developing.

Contractors must aim to avoid impacts to nesting birds and infringement of the *Wildlife and Countryside Act 1981* and breaching the *European Habitats 1992 Nesting Birds Directive*.

Notifiable Diseases and Disease Management

The Forestry Commission (FC) supplies guidance on notifiable diseases which may be notifiable by law. No notifiable diseases were found on the day of inspection.

Assessment

Proposals

The proposed development consists of a furniture workshop, and associated infrastructure such as roads, footpaths and drainage. The proposals were provided in a .PDF format by Chapelhill Fine Furniture on 18th of July 2023. This is shown in [Appendix 3 - Drawings](#).

Plans for utilities, levels, drainage and retaining structures were not available for this assessment.

Impacts

Tree works

In total nine individual trees will require removal to facilitate the proposed development.

One individual tree, T2, requires removal due to its condition and as part of site safety. Signs of decay and fungal fruiting bodies of *Kretzschmaria deusta* are present. *K. deusta* affects the integrity of the tree by decaying the roots and base of the tree.

T19-T24 have been recommended for removal because they are obstructing the view for vehicles exiting the access road from the site.

Tree T12, T17 and T18 are in conflict with the proposed access and turning area.

| | Trees |
|---------------|--------------------------------|
| Remove | T2 T12 T17 T18 T19 |

| | |
|--|-----|
| | T20 |
| | T21 |
| | T22 |
| | T23 |
| | T24 |

Table 1 – Tree works

Ground protection

The access road to the site is currently overgrown and does not appear to be used frequently. It is therefore highly likely, that the roots of the surrounding trees spread across the access path. To reduce damage to the roots and minimise the risk of soil compaction, suitable ground protection should be placed for the time of the construction. This may consist of eg.

- steel plates of suitable thickness
- plywood boards of suitable thickness on top of a layer of 100-150 mm wood chip
- protective mats, eg. Ground guard flexi-mat or similar.
- The installation of geo-cellular confinement systems of suitable height

The chosen ground protection needs to be fit for purpose. If, eg. HGVs are expected on site, plywood boards on top of woodchip are not suitable.

Should more frequent traffic be expected past construction, it may be appropriate to install a Geo-cellular confinement system, suitable for the expected traffic, permanently.

Special mitigation

The root protection area of several trees (T11, T13, T14) are in conflict with the proposed access and turning area. To retain these trees, any excavations will be made only by hand, and under arboricultural supervision. No roots will be severed, or otherwise damaged without arboricultural supervision.

Should this area be covered by a hard surface, suitable ground protection in form of geo-cellular confinements will need to be installed prior.

Effects on protected and designated features

- Tree preservation orders (TPO) - The proposed development would not result in a loss/pruning of TPO trees
- Conservation area (CA) - The proposed development would not result in a loss/pruning of trees within a CA

- Ancient woodland - The proposed development would not result in negative effect on ancient woodland
- Veteran trees - The proposed development would not result in a loss/pruning of veteran trees
- Community forest - The proposed development would not result in a loss/pruning of trees within a designated community forest
- Deciduous woodland - The proposed development would not result in a loss/pruning of trees within a designated deciduous woodland
- Woodland pasture and parkland - The proposed development would not result in a loss/pruning within designated woodland pasture and parkland
- Traditional orchards - The proposed development would not result in a loss/pruning within designated traditional orchards

Recommendations

- Retained trees and protection – The measures set out in [Drawing 3 – Tree Protection in Appendix 3 – Drawings](#) will be in place prior to any commencement of the development
- Removal of Trees T2 T2, T4, T12, T17, T18, T19, T20, T21, T22, T23, T24
- Installation of suitable ground protection
- Any excavations and works within RPAs are only to be conducted under arboricultural supervision
- All tree works are carried out to the standards defined in the BS 3998: 2010.
- Recommendations for tree work to be undertaken by arborists with the appropriate insurance and qualifications and approved contractors of the Arboricultural Association. TD Tree & Land Services Ltd are AA approved contractors. *see www.TDTREES.co.uk

Appendices

Appendix 1 – Data tables

Appendix 2 – Summary Reports

Appendix 3 - Drawings

Appendix 1 – Data Tables

Key of Terms

- Tree ID - Identification number of tree/trees as shown on plan
- Species - Botanical and Common name of species. Where the sub-group was unknown (Spp) has been used alongside the genus.
- Age class - Young (Y), Early Mature (EM), Mature (M), Late mature. (LM) and Veteran (V)
- Hgt - Height of tree in meters.
- DBH - Diameter at Breast Height: trunk diameter in cm measured at 1.5m.
- Crown spread - Average of 4 measurements taken of North, South, East, and West crown spread.
- MS - Multi-stemmed.

Tree Quality

The British standard, BS5837:2012 Trees in relation to Design, Demolition and Construction – recommendations, assigns categories to features depending on their qualities, hedgerows are not categorised. The following table provides a brief for each category.

| Category & Definition | Criteria – Subcategories 1,2 and 3 |
|--|---|
| Trees unsuitable for retention | |
| Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years. | <p>Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g., where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning).</p> <p>Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline. Trees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low-quality trees suppressing adjacent trees of better quality</p> <p>NOTE Category U trees can have existing or potential conservation value which it might be desirable to preserve.</p> |
| Trees to be considered for retention | |
| Category A High quality and value with an estimated life expectancy of at least 40 years. | <p>Particularly good example of their species, especially if rare or unusual; or those that are essential components of formal or semi-formal arboricultural feature.</p> |

| | |
|---|---|
| | <p>Trees, groups, or woodlands of visual importance as arboricultural and/or landscape features.</p> <p>Trees, groups, or woodlands of significant conservation, historical, commemorative, or other value.</p> |
| <p>Category B</p> <p>Moderate quality and value with an estimated life expectancy of at least 20 years.</p> | <p>Trees that might be in category A, but are downgraded because of impaired condition (e.g., presence of significant though remediable defects, including unsympathetic past management or storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation.</p> <p>Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated to make little visual contribution to the wider locality.</p> <p>Trees with material conservation or other cultural value.</p> |
| <p>Category C</p> <p>Low quality and value with an estimated life expectancy of at least 10 years, or young trees with a diameter <150mm.</p> | <p>Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories.</p> <p>Trees present in groups or woodlands, but without this conferring on them significantly greater landscape value, and/or trees offering low landscape benefit.</p> <p>Trees with no material conservation or other cultural value.</p> |

Table 1 – BS5837 Categorisations

Data Tables

Trees Surveyed

| Full Tree ID | Common Name | Latin Name | Tree Height [m] | Stem Diameter [mm] | Root Protection Area [m] | (N) Branch Spread [m] | (E) Branch Spread [m] | (S) Branch Spread [m] | (W) Branch Spread [m] | Height of First Significant Branch [m] | Direction of First Significant Branch | Height of Canopy Above Ground Level [m] | Life Stage | Physiological Condition | Structural Condition | Estimated Remaining Contribution | Comments | Quality Category | Quality Sub-Category |
|--------------|-------------|----------------------|-----------------|--------------------|--------------------------|-----------------------|-----------------------|-----------------------|-----------------------|--|---------------------------------------|---|--------------|-------------------------|----------------------|----------------------------------|--|------------------|----------------------|
| T1 | Sycamore | Acer pseudo-platanus | 12 | 574.1 1 | 6.89 | 4 | 4.5 | 3 | 3.5 | 1.5 | W | 10.5 | Semi-mature | Good | Fair | Medium (20 to 40 years) | Previous excavation damage to roots can be seen with exposed roots and damage at the surface. Overall fair condition. | B | 1 |
| T2 | Sycamore | Acer pseudo-platanus | 12 | 1050 | 12.6 | 6.5 | 5 | 7 | 6 | 3 | W | 10.5 | Mature | Fair | Fair | Medium (20 to 40 years) | Previous excavation damage to roots can be seen with exposed roots and damage at the surface. Overall fair condition. Cankerosus growth on sub stem at 5m and another growth at 6m on other sub stem. Minor deadwood and crown had minor dieback that is under 10%. Kretzschmaria deusta present on westside of base going up almost 1m. Likely decay at base on West Side, cavity at base going in at least 1m into stem. Sparse crown. | U | |
| T3 | Downy Birch | Betula pubescens | 5 | 87.75 | 1.05 | 1 | 1 | 1 | 1 | 0.2 | N | 5 | Young | Fair | Fair | Medium (20 to 40 years) | Possible root damage from excavation. Overall fair condition. | C | 1 |
| T4 | Sycamore | Acer pseudo-platanus | 7 | 255 | 3.06 | 3 | 2.5 | 2 | 2 | 0.5 | S | 6 | Early-mature | Good | Fair | Medium (20 to 40 years) | Adjacent to road. Growing through fence. | C | 1 |
| T5 | Scots Pine | Pinus sylvestris | 19 | 470 | 5.64 | 3 | 2.5 | 2 | 2 | 11 | N | 10 | Semi-mature | Good | Fair | Long (>40 years) | overall good condition | B | 1, 2 |

| | | | | | | | | | | | | | | | | | | | |
|-----|---------------|----------------------|----|--------|------|-----|-----|---|-----|-----|----|----|--------------|------|------|-------------------------|--|---|------|
| T6 | Larch | Larix decidua | 19 | 260 | 3.12 | 3 | 2 | 2 | 2 | 10 | E | 10 | Early-mature | Good | Good | Long (>40 years) | Overall good condition. | B | 1, 2 |
| T7 | Larch | Larix decidua | 18 | 310 | 3.72 | 2.5 | 2 | 2 | 2 | 10 | E | 10 | Early-mature | Good | Good | Long (>40 years) | Overall good condition. Adjacent to access road. | B | 1, 2 |
| T8 | Larch | Larix decidua | 19 | 260 | 3.12 | 2.5 | 2 | 2 | 2 | 10 | W | 10 | Early-mature | Good | Good | Long (>40 years) | Overall good condition. | B | 1, 2 |
| T9 | Larch | Larix decidua | 17 | 240 | 2.88 | 2 | 2 | 2 | 2 | 7 | S | 10 | Early-mature | Good | Good | Long (>40 years) | Overall good condition. | B | 1, 2 |
| T10 | Larch | Larix decidua | 16 | 310 | 3.72 | 3 | 2.5 | 5 | 3.5 | 7 | S | 10 | Early-mature | Good | Good | Long (>40 years) | Overall good condition. | B | 1, 2 |
| T11 | Common Ash | Fraxinus excelsior | 14 | 290 | 3.48 | 4 | 2.5 | 2 | 2.5 | 2 | N | 12 | Semi-mature | Good | Good | Long (>40 years) | Slight lean to NE. Minor deadwood. | B | 1 |
| T12 | Sycamore | Acer pseudo-platanus | 10 | 310 | 3.72 | 4 | 3 | 3 | 3.5 | 2 | N | 8 | Early-mature | Good | Good | Medium (20 to 40 years) | Overall good condition but suppressed by larger adjacent trees. | C | 1 |
| T13 | Scots Pine | Pinus sylvestris | 18 | 580 | 6.96 | 3.5 | 4.5 | 3 | 4 | 6 | E | 11 | Mature | Good | Good | Long (>40 years) | Minor deadwood. Overall good condition. | B | 1 |
| T14 | Scots Pine | Pinus sylvestris | 23 | 630 | 7.56 | 3.5 | 4 | 4 | 4 | 10 | E | 13 | Mature | Good | Good | Long (>40 years) | Minor deadwood. Overall good condition. | B | 1 |
| T15 | Scots Pine | Pinus sylvestris | 23 | 580 | 6.96 | 3.5 | 3 | 3 | 2.5 | 6.5 | W | 16 | Mature | Good | Good | Long (>40 years) | Moderate deadwood around 100mm in diameter. | B | 1 |
| T16 | Norway Spruce | Picea abies | 21 | 430 | 5.16 | 2.5 | 2.5 | 2 | 2.5 | 3 | E | 17 | Semi-mature | Good | Good | Long (>40 years) | Minor deadwood. Overall good condition. | B | 1 |
| T17 | Silver Birch | Betula pendula | 10 | 244.95 | 2.94 | 2.5 | 2 | 5 | 2.5 | 1 | E | 8 | Early-mature | Good | Fair | Short (10 to 20 years) | Roots exposed and damaged from excavation. | C | 1 |
| T18 | Silver Birch | Betula pendula | 8 | 100 | 1.2 | 1.5 | 1 | 2 | 1.5 | 1 | N | 8 | Early-mature | Fair | Fair | Short (10 to 20 years) | Roots exposed and damaged from excavation. Damage to stem likely from machinery. | C | 1 |
| T19 | Silver Birch | Betula pendula | 17 | 450 | 5.4 | 4 | 3 | 3 | 3 | 3 | W | 10 | Mature | Good | Good | Medium (20 to 40 years) | Adjacent to road to north. Could block view from access road to main road. | C | 1, 2 |
| T20 | Silver Birch | Betula pendula | 14 | 370 | 4.44 | 6 | 4 | 5 | 4 | 5 | S | 9 | Mature | Good | Good | Medium (20 to 40 years) | Adjacent to road to north. Could block view from access road to main road. | C | 1, 2 |
| T21 | Silver Birch | Betula pendula | 14 | 290 | 3.48 | 5 | 4 | 3 | 4 | 5 | NE | 9 | Mature | Good | Good | Medium (20 to 40 years) | Adjacent to road to north. Could block view from access road to main road. | C | 1, 2 |
| T22 | Silver Birch | Betula pendula | 12 | 260 | 3.12 | 3.5 | 2.5 | 2 | 2 | 5 | SE | 7 | Semi-mature | Fair | Good | Medium (20 to 40 years) | Adjacent to road to north. Could block view from access road to main road. | C | 1, 2 |

| | | | | | | | | | | | | | | | | | | | |
|-----|--------------|----------------|----|-----|------|-----|---|-----|---|-----|---|-------------|-------|------|-------------------------|--|--|------|---|
| T23 | Silver Birch | Betula pendula | 12 | 310 | 3.72 | 5 | 3 | 2.5 | 3 | E | 7 | Semi-mature | Good | Good | Medium (20 to 40 years) | Adjacent to road to north. Could block view from access road to main road. | C | 1, 2 | |
| T24 | Goat Willow | Salix caprea | 9 | 150 | 1.8 | 2.5 | 3 | 2 | 2 | 0.5 | E | 8 | Young | Good | Fair | Medium (20 to 40 years) | Low hanging branches obstructing view onto road. Overall fair condition. | C | 1 |

Woodlands Surveyed

| Woodland ID | Common Name | Number of Stems | Lower Height Range [m] | Upper Height Range [m] | Lower Stem Diameter [mm] | Upper Stem Diameter [mm] | Height of Canopy Above Ground [m] | Life Stage | Condition | Estimated Remaining Contribution | Comments | Quality Category | Quality Sub-Category |
|-------------|---|-----------------|------------------------|------------------------|--------------------------|--------------------------|-----------------------------------|------------|-----------|----------------------------------|---|------------------|----------------------|
| 1 | Birch species, European larch, Goat willow, Scots pine, Spruce species | 400 | 4 | 25 | 50 | 950 | 18 | Mature | Good | Long (>40 years) | Adjacent to road on North side and access road to the site on south. Good biodiversity value. | A | 1, 2, 3 |
| 2 | Birch species, Larch species, Scots pine, Spruce species, Western hemlock, Willow species | 45 | 4 | 23 | 100 | 800 | 15 | Mature | Good | Long (>40 years) | Less dense than adjacent woodland. Large mature specimens in woodland. Good biodiversity value. | A | 1, 2, 3 |

Hedges Surveyed

| Hedge ID | Common Name | Number of Stems | Lower Height Range [m] | Upper Height Range [m] | Lower Stem Diameter [mm] | Upper Stem Diameter [mm] | Height of Canopy Above Ground [m] | Hedge Width [m] | Life Stage | Condition | Estimated Remaining Contribution | Comments |
|----------|---|-----------------|------------------------|------------------------|--------------------------|--------------------------|-----------------------------------|-----------------|------------|-----------|----------------------------------|---|
| 1 | Common beech | 38 | 4 | 7 | 50 | 350 | 6 | 4 | Mature | Fair | Long (>40 years) | Lapsed beech hedge. Adjacent to road. |
| 2 | Common beech | 43 | 4 | 8 | 50 | 350 | 6 | 4 | Mature | Fair | Long (>40 years) | Lapsed beech hedge. Adjacent to road. |
| 3 | Barberry species, Common beech, Common hawthorn, Sycamore | 65 | 1.5 | 7 | 20 | 250 | 4 | 2.5 | Mature | Fair | Long (>40 years) | Lapsed hedge. Some parts of hedge quite sparse. |

Appendix 2 – Summary Reports



TD TREE & LAND SERVICES LTD

Tree Summary Report

November 10, 2023 |
Total Tree Count: 24

Sycamore Tree ID #1

| Tree Details | |
|-------------------------|---|
| Latin Name: | Acer pseudoplatanus |
| Tag Number: | |
| Stem Diameter [mm]: | 574.11 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Previous excavation damage to roots can be seen with exposed roots and damage at the surface. Overall fair condition. |
| Recommendations: | |
| Work to be Completed by | |
| Surveyor: | Toby |
| Inspection Cycle: | |

Tree Location

| | |
|------------|-----------|
| Longitude: | -2.778784 |
| Latitude: | 55.903812 |

Photos Street View Map View




Sycamore Tree ID #2

| Tree Details | |
|---------------------|---|
| Latin Name: | Acer pseudoplatanus |
| Tag Number: | 1903 |
| Stem Diameter [mm]: | 1050 |
| Priority: | High |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | <p>Previous excavation damage to roots can be seen with exposed roots and damage at the surface. Overall fair condition.</p> <p>Cankerosus growth on sub stem at 5m and another growth at 6m on other sub stem.</p> <p>Minor deadwood and crown had minor dieback that is under 10%. Kretzschmaria deusta present on westside of base going up almost 1m. Likely decay at base on West Side, cavity at base going in at least 1m into stem. Sparse crown.</p> |
| Recommendations: | Remove. |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.778819 |
| Latitude: | 55.903696 |

[Photos](#)
[Street View](#)
[Map View](#)



Downy Birch Tree ID #3

| Tree Details | |
|---------------------|--|
| Latin Name: | Betula pubescens |
| Tag Number: | |
| Stem Diameter [mm]: | 87.75 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Possible root damage from excavation. Overall fair condition. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779030 |
| Latitude: | 55.903875 |

[Photos](#)
[Street View](#)
[Map View](#)



Sycamore Tree ID #4

| Tree Details | |
|---------------------|---|
| Latin Name: | Acer pseudoplatanus |
| Tag Number: | |
| Stem Diameter [mm]: | 255 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Adjacent to road. Growing through fence. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

Tree Location

| | |
|------------|-----------|
| Longitude: | -2.779076 |
| Latitude: | 55.903900 |

Photos Street View Map View



Scots Pine Tree ID #5

Tree Details

Latin Name: Pinus sylvestris

Tag Number: 1920

Stem Diameter [mm]: 470

Priority:

QTRA Risk Numeral:

QTRA Risk Category:

Comments: overall good condition

Recommendations:

Work to be Completed by

Surveyor: Toby

Inspection Cycle:

Tree Location

Longitude: -2.779812

Latitude: 55.903793

Photos Street View Map View


Larch Tree ID #6

| Tree Details | |
|---------------------|-------------------------|
| Latin Name: | Larix decidua |
| Tag Number: | |
| Stem Diameter [mm]: | 260 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Overall good condition. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779812 |
| Latitude: | 55.903741 |

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Larch Tree ID #7

| Tree Details | |
|---------------------|--|
| Latin Name: | Larix decidua |
| Tag Number: | |
| Stem Diameter [mm]: | 310 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Overall good condition. Adjacent to access road. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779899 |
| Latitude: | 55.903777 |

Photos Street View Map View




Larch Tree ID #8

| Tree Details | |
|---------------------|-------------------------|
| Latin Name: | Larix decidua |
| Tag Number: | |
| Stem Diameter [mm]: | 260 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Overall good condition. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779814 |
| Latitude: | 55.903704 |

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Larch Tree ID #9

Tree Details

Latin Name: Larix decidua

Tag Number:

Stem Diameter [mm]: 240

Priority:

QTRA Risk Numeral:

QTRA Risk Category:

Comments: Overall good condition.

Recommendations:

Work to be Completed by

Surveyor: Toby

Inspection Cycle:

Tree Location

Longitude: -2.779795

Latitude: 55.903653

Photos Street View Map View

Larch Tree ID #10

| Tree Details | |
|---------------------|-------------------------|
| Latin Name: | Larix decidua |
| Tag Number: | |
| Stem Diameter [mm]: | 310 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Overall good condition. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779620 |
| Latitude: | 55.903574 |

Photos Street View Map View



Common Ash Tree ID #11

| Tree Details | |
|---------------------|---------------------------------------|
| Latin Name: | Fraxinus excelsior |
| Tag Number: | |
| Stem Diameter [mm]: | 290 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Slight lean to NE. Minor deadwood. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779328 |
| Latitude: | 55.903487 |

[Photos](#)
[Street View](#)
[Map View](#)



Sycamore Tree ID #12

| Tree Details | |
|---------------------|---|
| Latin Name: | Acer pseudoplatanus |
| Tag Number: | |
| Stem Diameter [mm]: | 310 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Overall good condition but suppressed by larger adjacent trees. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

Tree Location

| | |
|------------|-----------|
| Longitude: | -2.779368 |
| Latitude: | 55.903494 |

Photos Street View Map View




Scots Pine Tree ID #13

| Tree Details | |
|---------------------|--|
| Latin Name: | Pinus sylvestris |
| Tag Number: | 1906 |
| Stem Diameter [mm]: | 580 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Minor deadwood. Overall good condition. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779409 |
| Latitude: | 55.903473 |

Photos Street View Map View



Scots Pine Tree ID #14

Tree Details

Latin Name: Pinus sylvestris

Tag Number: 1908

Stem Diameter [mm]: 630

Priority:

QTRA Risk Numeral:

QTRA Risk Category:

Comments: Minor deadwood.
Overall good condition.

Recommendations:

Work to be Completed by

Surveyor: Toby

Inspection Cycle:

Tree Location

Longitude: -2.779463

Latitude: 55.903498

Photos Street View Map View

Scots Pine Tree ID #15

| Tree Details | |
|---------------------|---|
| Latin Name: | Pinus sylvestris |
| Tag Number: | 1909 |
| Stem Diameter [mm]: | 580 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Moderate deadwood around 100mm in diameter. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

Tree Location

| | |
|------------|-----------|
| Longitude: | -2.779528 |
| Latitude: | 55.903491 |

Photos Street View Map View



Norway Spruce Tree ID #16

Tree Details

Latin Name: Picea abies

Tag Number: 1910

Stem Diameter [mm]: 430

Priority:

QTRA Risk Numeral:

QTRA Risk Category:

Comments: Minor deadwood.
Overall good condition.

Recommendations:

Work to be Completed by

Surveyor: Toby

Inspection Cycle:

Tree Location

Longitude: -2.779636

Latitude: 55.903507

Photos Street View Map View



Silver Birch Tree ID #17

| Tree Details | |
|---------------------|--|
| Latin Name: | Betula pendula |
| Tag Number: | |
| Stem Diameter [mm]: | 244.95 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Roots exposed and damaged from excavation. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.779023 |
| Latitude: | 55.903649 |

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Silver Birch Tree ID #18

| Tree Details | |
|---------------------|--|
| Latin Name: | Betula pendula |
| Tag Number: | |
| Stem Diameter [mm]: | 100 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Roots exposed and damaged from excavation. Damage to stem likely from machinery. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.778948 |
| Latitude: | 55.903695 |

Photos Street View Map View



Silver Birch Tree ID #19**B6355****Tree Details**

Latin Name: Betula pendula

Tag Number:

Stem Diameter [mm]: 450

Priority:

QTRA Risk Numeral:

QTRA Risk Category:

Comments: Adjacent to road to north. Could block view from access road to main road.

Recommendations:

Work to be Completed by

Surveyor: Toby

Inspection Cycle:

Tree Location

Longitude: -2.781456

Latitude: 55.904245

Photos Street View Map View


Silver Birch Tree ID #20
B6355

| Tree Details | |
|---------------------|--|
| Latin Name: | Betula pendula |
| Tag Number: | |
| Stem Diameter [mm]: | 370 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Adjacent to road to north. Could block view from access road to main road. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.781311 |
| Latitude: | 55.904238 |

Photos Street View Map View




Silver Birch Tree ID #21
B6355

| Tree Details | |
|---------------------|--|
| Latin Name: | Betula pendula |
| Tag Number: | |
| Stem Diameter [mm]: | 290 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Adjacent to road to north. Could block view from access road to main road. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.781248 |
| Latitude: | 55.904210 |

[Photos](#) [Street View](#) [Map View](#)



Silver Birch Tree ID #22

B6355

Tree Details

Latin Name: Betula pendula

Tag Number: 1964

Stem Diameter [mm]: 260

Priority:

QTRA Risk Numeral:

QTRA Risk Category:

Comments: Adjacent to road to north. Could block view from access road to main road.

Recommendations:

Work to be Completed by

Surveyor: Toby

Inspection Cycle:

Tree Location

Longitude: -2.781743

Latitude: 55.904276

Photos Street View Map View



Silver Birch Tree ID #23
B6355

| Tree Details | |
|---------------------|--|
| Latin Name: | Betula pendula |
| Tag Number: | 1965 |
| Stem Diameter [mm]: | 310 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Adjacent to road to north. Could block view from access road to main road. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.781795 |
| Latitude: | 55.904289 |

Photos Street View Map View



Goat Willow Tree ID #24
B6355

| Tree Details | |
|---------------------|--|
| Latin Name: | Salix caprea |
| Tag Number: | |
| Stem Diameter [mm]: | 150 |
| Priority: | |
| QTRA Risk Numeral: | |
| QTRA Risk Category: | |
| Comments: | Low hanging branches obstructing view onto road. Overall fair condition. |
| Recommendations: | |

| Work to be Completed by | |
|-------------------------|------|
| Surveyor: | Toby |
| Inspection Cycle: | |

| Tree Location | |
|---------------|-----------|
| Longitude: | -2.781701 |
| Latitude: | 55.904249 |

Photos Street View Map View





Woodland Summary Report

November 10, 2023 |
Total Woodland Count: 2

Woodland ID #1

Woodland Details

| | |
|-----------------------------------|---|
| Common Name: | Birch species, European larch, Spruce species, Scots pine, Goat willow |
| Life Stage: | Mature |
| Condition: | Good |
| Estimated Remaining Contribution: | Long (>40 years) |
| Quality Category: | B |
| Recommendations: | |
| Comments: | Adjacent to road on North side and access road to the site on south. Good biodiversity value. |

Photos Street View Map View



Woodland ID #2

Woodland Details

| | |
|-----------------------------------|---|
| Common Name: | Birch species, Larch species, Spruce species, Scots pine, Willow species, Western hemlock |
| Life Stage: | Mature |
| Condition: | Good |
| Estimated Remaining Contribution: | Long (>40 years) |
| Quality Category: | B |
| Recommendations: | |
| Comments: | Less dense than adjacent woodland. Large mature specimens in woodland. Good biodiversity value. |

Photos Street View Map View





TD TREE & LAND SERVICES LTD


Hedges Summary Report

November 10, 2023 |
Total Hedges Count: 3

Hedge ID #1

| Hedge Details | |
|-----------------------------------|---------------------------------------|
| Common Name: | Common beech |
| Life Stage: | Mature |
| Condition: | Fair |
| Hedge Width [m]: | 4 |
| Estimated Remaining Contribution: | Long (>40 years) |
| Recommendations: | |
| Comments: | Lapsed beech hedge. Adjacent to road. |


Photos Street View Map View



Hedge ID #2

| Hedge Details | |
|-----------------------------------|---------------------------------------|
| Common Name: | Common beech |
| Life Stage: | Mature |
| Condition: | Fair |
| Hedge Width [m]: | 4 |
| Estimated Remaining Contribution: | Long (>40 years) |
| Recommendations: | |
| Comments: | Lapsed beech hedge. Adjacent to road. |


Photos Street View Map View



Hedge ID #3




| Hedge Details | |
|-----------------------------------|---|
| Common Name: | Sycamore, Barberry species, Common hawthorn, Common beech |
| Life Stage: | Mature |
| Condition: | Fair |
| Hedge Width [m]: | 2.5 |
| Estimated Remaining Contribution: | Long (>40 years) |
| Recommendations: | |
| Comments: | Lapsed hedge. Some parts of hedge quite sparse. |

Photos Street View Map View





Appendix 3 - Drawings

KEY

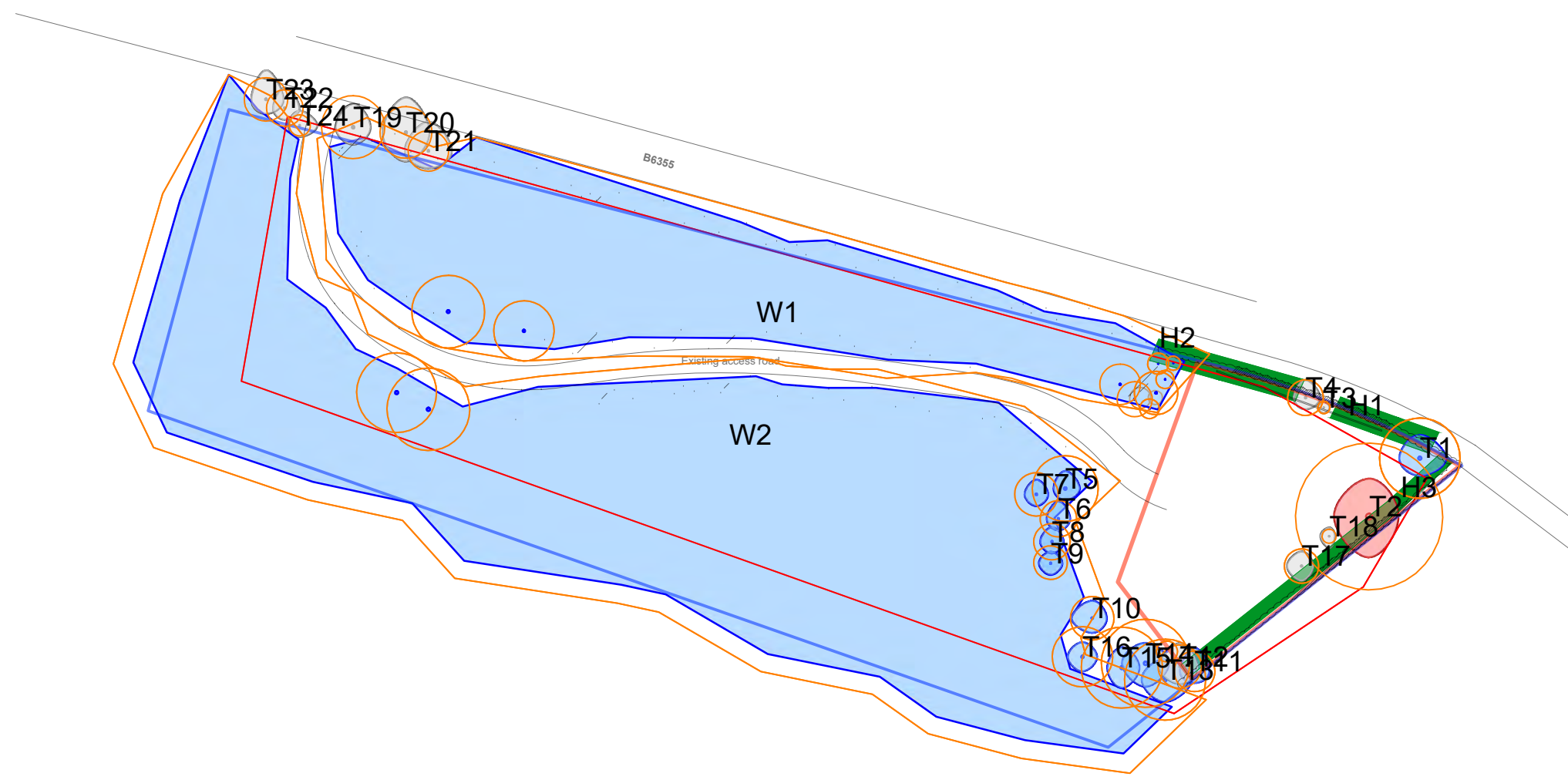
-  T1/G1/W1 Trees
-  Root Protection Area (RPA)
-  Site Boundary

Tree Quality Categorisation

(Based on BS 5837:2012 Trees in relation to design, demolition and construction - Recommendations)

-  Category A
(High quality)
-  Category B
(Moderate quality)
-  Category C
(Low quality)
-  Category U
(Unsuitable for retention)
-  Hedgerow
(Not categorised)

Please see the Arboricultural Survey Data in the Appendices 1 - Data Tables and 2 - Summary Reports



| | | |
|--------------------------------------|---------------------|--------------------|
| Site Bolton Muir Woodland | | |
| Title Drawing 1: Tree Constraints | | |
| Drawing No. 231110001 | Scale 1:1000@ A3 | Date 10/11/2023 |
| Drawn PMR | Checked PCL | Approved PMR |

KEY

- T1/G1/W1 Trees
- Root Protection Area (RPA)
- Site Boundary

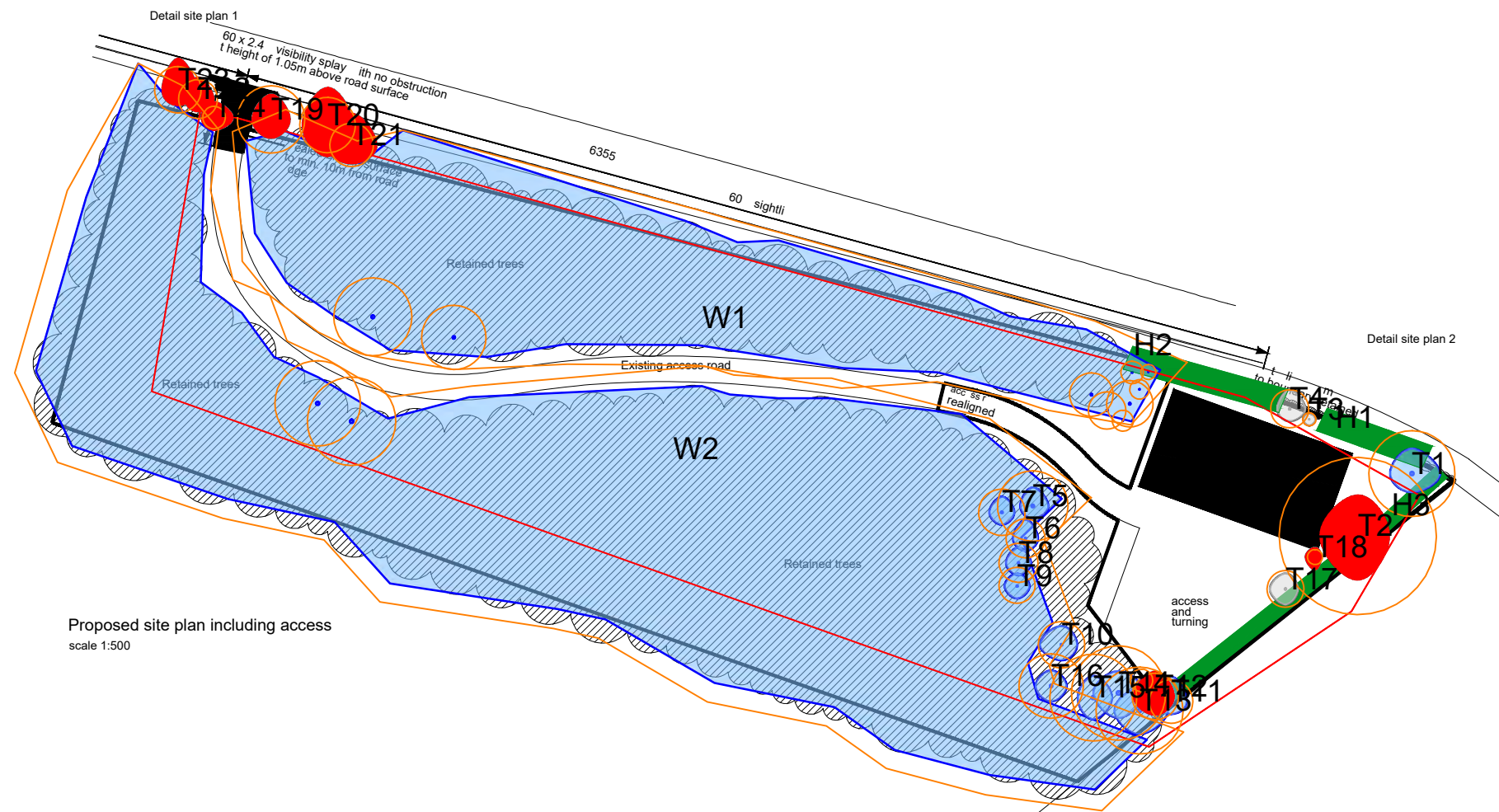
Trees and hedgerow to be retained

- Category A (High quality)
- Category B (Moderate quality)
- Category C (Low quality)
- Category U (May be retained for habitat value)
- Hedgerow (Not categorised)

Trees and hedgerow proposed works

- Trees to be removed
- Trees to be pruned
- Hedgerow to be removed

Please see the Arboricultural Survey Data in the Appendices 1 - Data Tables and 2 - Summary Reports



Proposed site plan including access
scale 1:500



TD TREE & LAND SERVICES LTD

Site
Bolton Muir Woodland

Title
Drawing 2: Recommended Tree Works

| | | |
|--------------------------|------------------------|--------------------|
| Drawing No. 231110001 | Scale 1:1_XREF @ A3 | Date 10/11/2023 |
|--------------------------|------------------------|--------------------|

| | | |
|--------------|----------------|-----------------|
| Drawn PMR | Checked PCL | Approved PMR |
|--------------|----------------|-----------------|

Detail site plan 1

60 x 2.4 visibility splay with no obstruction
 t height of 1.05m above road surface

cleared to min. 10m from road
 edge

KEY

- T1/G1/W1 Trees
- Root Protection Area (RPA)
- Site Boundary

Trees and hedgerow to be retained

- Category A (High quality)
- Category B (Moderate quality)
- Category C (Low quality)
- Category U (May be retained for habitat value)
- Hedgerow (Not categorised)

Trees and hedgerow proposed works

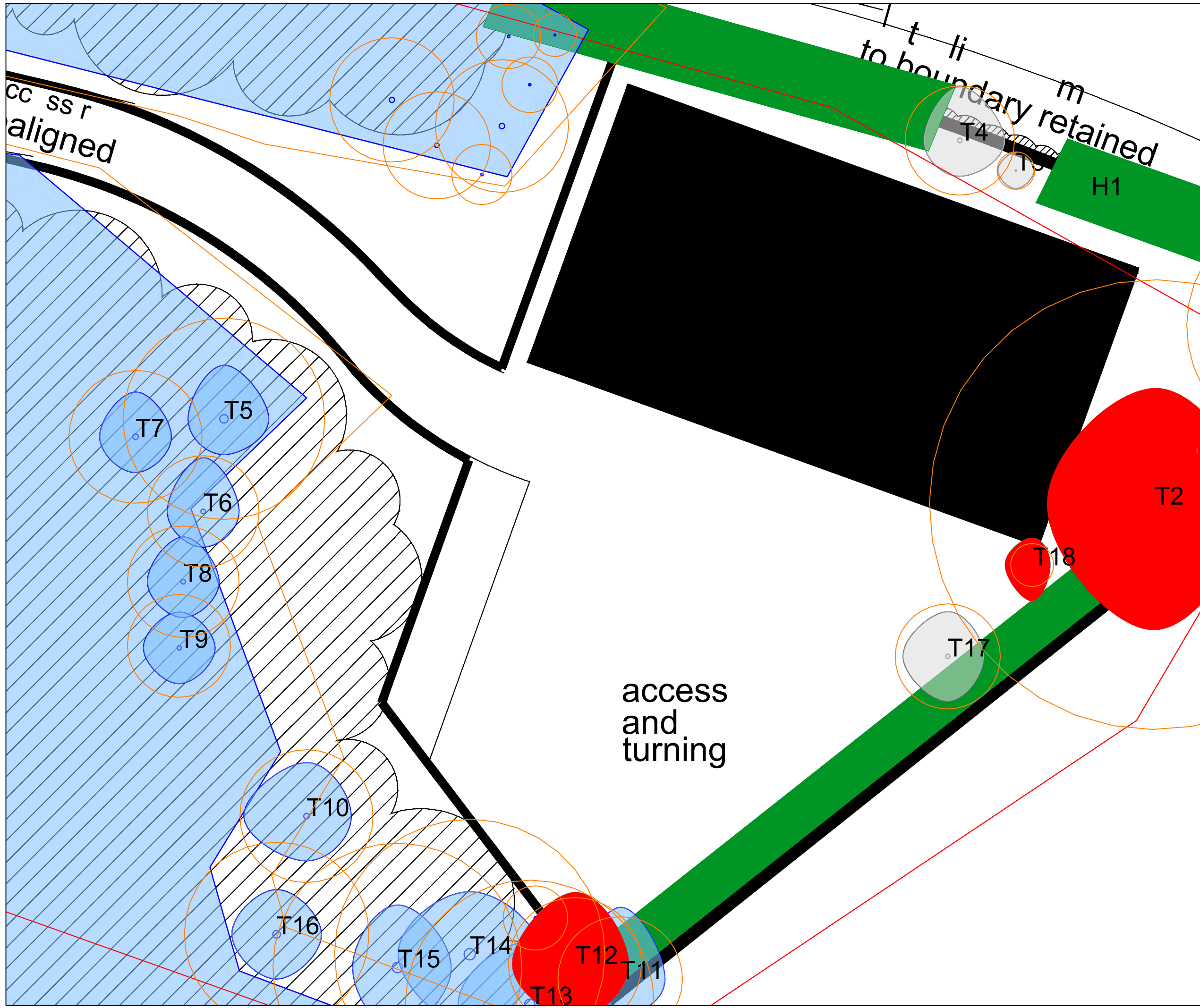
- Trees to be removed
- Trees to be pruned
- Hedgerow to be removed

Please see the Arboricultural Survey Data in the Appendices 1 - Data Tables and 2 - Summary Reports



TD TREE & LAND SERVICES LTD

| | | | |
|--|----------------|-----------------|--------------------|
| Site Bolton Muir Woodland | | | |
| Title Drawing 3: Recommended Tree Works A | | | |
| Drawing No. 231110001 | Scale 1:200 | @ A3 | Date 10/11/2023 |
| Drawn PMR | Checked PCL | Approved PMR | |



- KEY**
- T1/G1/W1 Trees
 - Root Protection Area (RPA)
 - Site Boundary

Trees and hedgerow to be retained

- Category A (High quality)
- Category B (Moderate quality)
- Category C (Low quality)
- Category U (May be retained for habitat value)
- Hedgerow (Not categorised)

Trees and hedgerow proposed works

- Trees to be removed
- Trees to be pruned
- Hedgerow to be removed

Please see the Arboricultural Survey Data in the Appendices 1 - Data Tables and 2 - Summary Reports



TD TREE & LAND SERVICES LTD





Site
Bolton Muir Woodland

Title
Drawing 4: Recommended Tree Works B

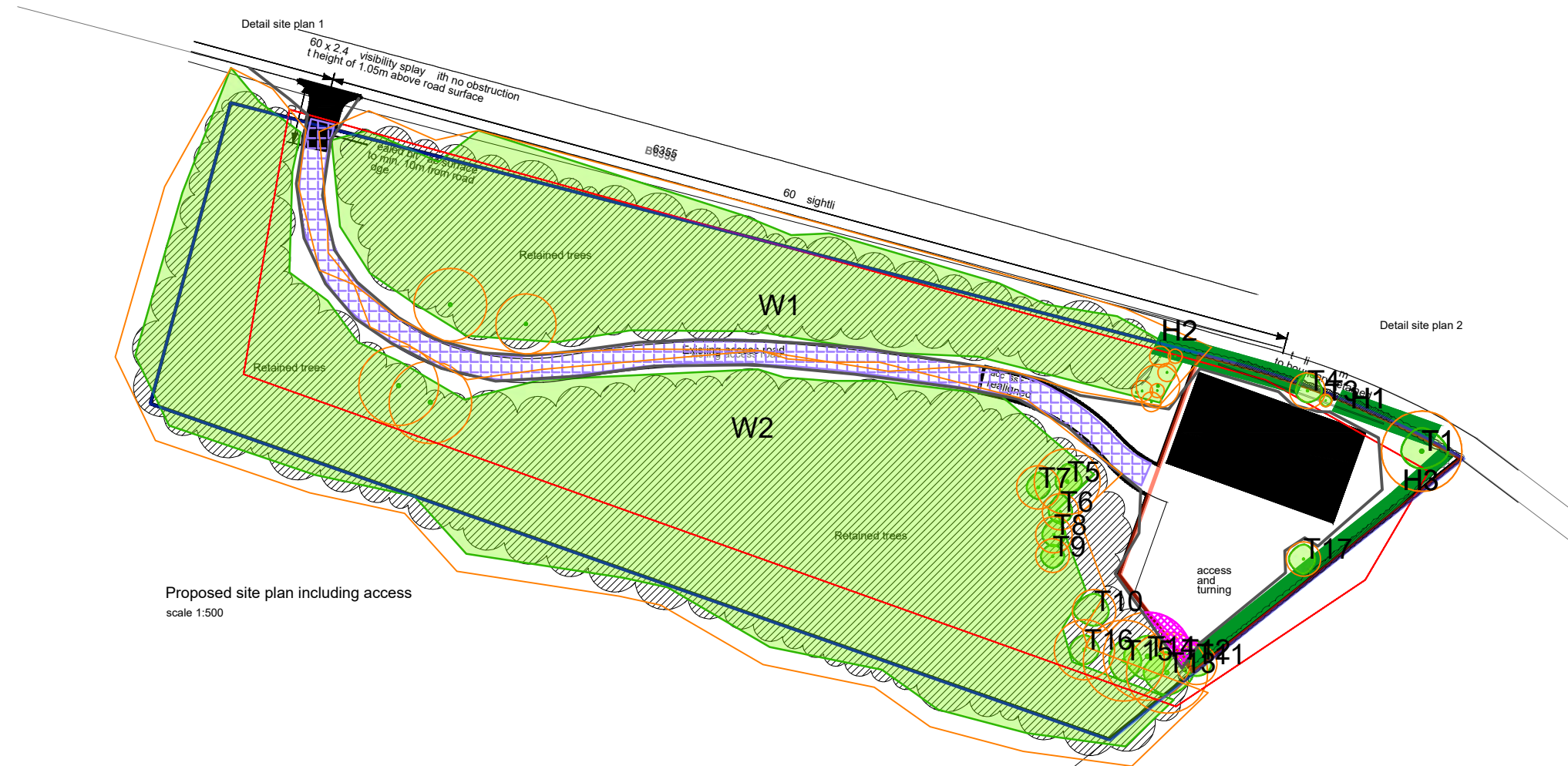
| | | | |
|--------------------------|----------------|-----------------|--------------------|
| Drawing No. 231110001 | Scale 1:200 | @ A3 | Date 10/11/2023 |
| Drawn PMR | Checked PCL | Approved PMR | |

KEY

[This drawing must be reproduced in colour]

-  T1/G1/W1 Retained trees
-  H1 Retained hedgerow
-  Root Protection Area (RPA)
-  Site Boundary

-  Tree Protective Fencing (c. 508m)
(Must be installed prior to commencement of works)
-  Ground protection (c. 730m²)
(Must be installed prior to commencement of works)
-  Special Mitigation
(Requires Arboricultural Method Statement)



Proposed site plan including access
scale 1:500



TD TREE & LAND SERVICES LTD





Site
Bolton Muir Woodland


Title
Drawing 5: Tree Protection Plan

| | | |
|--------------------------|---------------------|--------------------|
| Drawing No. 231110001 | Scale 1:1000@ A3 | Date 10/11/2023 |
| Drawn PMR | Checked PCL | Approved PMR |

KEY

[This drawing must be reproduced in colour]

-  T1/G1/W1 Retained trees
-  H1 Retained hedgerow
-  Root Protection Area (RPA)
-  Site Boundary

-  Tree Protective Fencing (c. 508m)
(Must be installed prior to commencement of works)
-  Ground protection (c. 730m²)
(Must be installed prior to commencement of works)
-  Special Mitigation
(Requires Arboricultural Method Statement)



Detail site plan 2



| | | | |
|--|-------------------|-----------------|--------------------|
| Site Bolton Muir Woodland | | | |
| Title Drawing 6: Tree Protection Plan | | | |
| Drawing No. 231110001 | Scale 2:1_XREF | @ A3 | Date 10/11/2023 |
| Drawn PMR | Checked PCL | Approved PMR | |

Arboricultural Method statement protective tree fencing



TD TREE & LAND SERVICES LTD

General conditions

The Tree Protection Plan (Appendix 3) will be followed, any alterations will need the approval of the appointed Arboriculturalist and the LPA.

Under no circumstances shall construction personnel undertake any tree pruning operations.

Great care must be exercised when working close to retained trees. Plant and machinery with booms should be controlled by a banksman to maintain adequate clearance.

All removals and site clearance should be undertaken outside of the nesting season to reduce the ecological impact.

All tree work operations must be in accordance with BS 3998: 2010 Tree Work Recommendations.

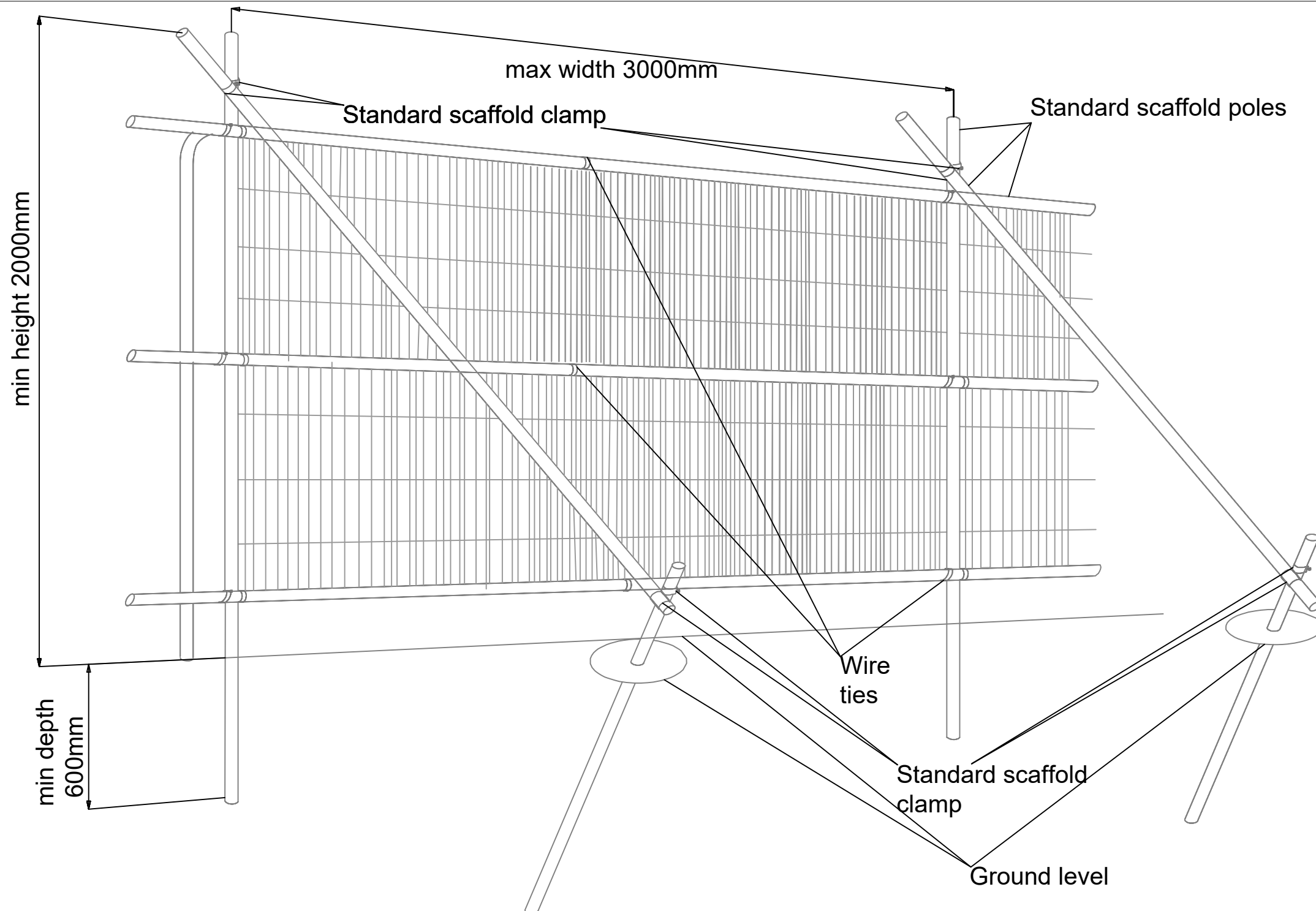
This work is to be conducted by a suitably qualified Tree Surgeon (ideally chosen from the Arboricultural Association's Approved Contractors list).

The protective fencing will be erected before any materials or machinery are brought onto site and before any development commences.

Once erected these barriers will be regarded as permanent and will not be removed or altered without prior agreement of the appointed arboriculturalist and written approval of the LPA.

Tree protective fencing will be fit for the purpose of excluding construction activity. Regular checks must be made of the fencing to ensure its stability and structure. Scheduled site visits of the appointed arboriculturalist or the LPA will record these checks.

Once the construction exclusion zone has been protected by the barriers, construction can commence. Signs should be fixed to the fencing panels with the words: "Construction Exclusion Zone – No Access" or similar.



The tree protective fencing consists of a vertical and horizontal, reinforced scaffold framework and heavy gauge 2 m tall, galvanized tube and welded mesh infill panels.

Installation

- Secure the framework well with standard scaffold clamps.
- Drive the verticals securely into the ground to a minimum depth of 600mm. Proceed with care when locating the vertical poles to avoid underground services and contact with structural roots. The interval between the vertical tubes will be no wider than 3 m.
- Support the framework with stabilizer struts on the inside. These will be attached to additional bracing poles, driven into the ground to a minimum depth of 600mm. Care must be taken not to damage any structural roots of trees to be retained in this process.
- Fix the welded mesh panels securely onto the framework, using wire ties and standard scaffolding clamps, as suitable.
- The attached 'Construction Exclusive Zone' Sign will be printed in A3, laminated and mounted onto the fencing as an all weather warning sign.



No access
for unauthorised
persons

ATTENTION

TREE PROTECTION AREA

KEEP OUT



No access for
forklifts or other
industrial vehicles



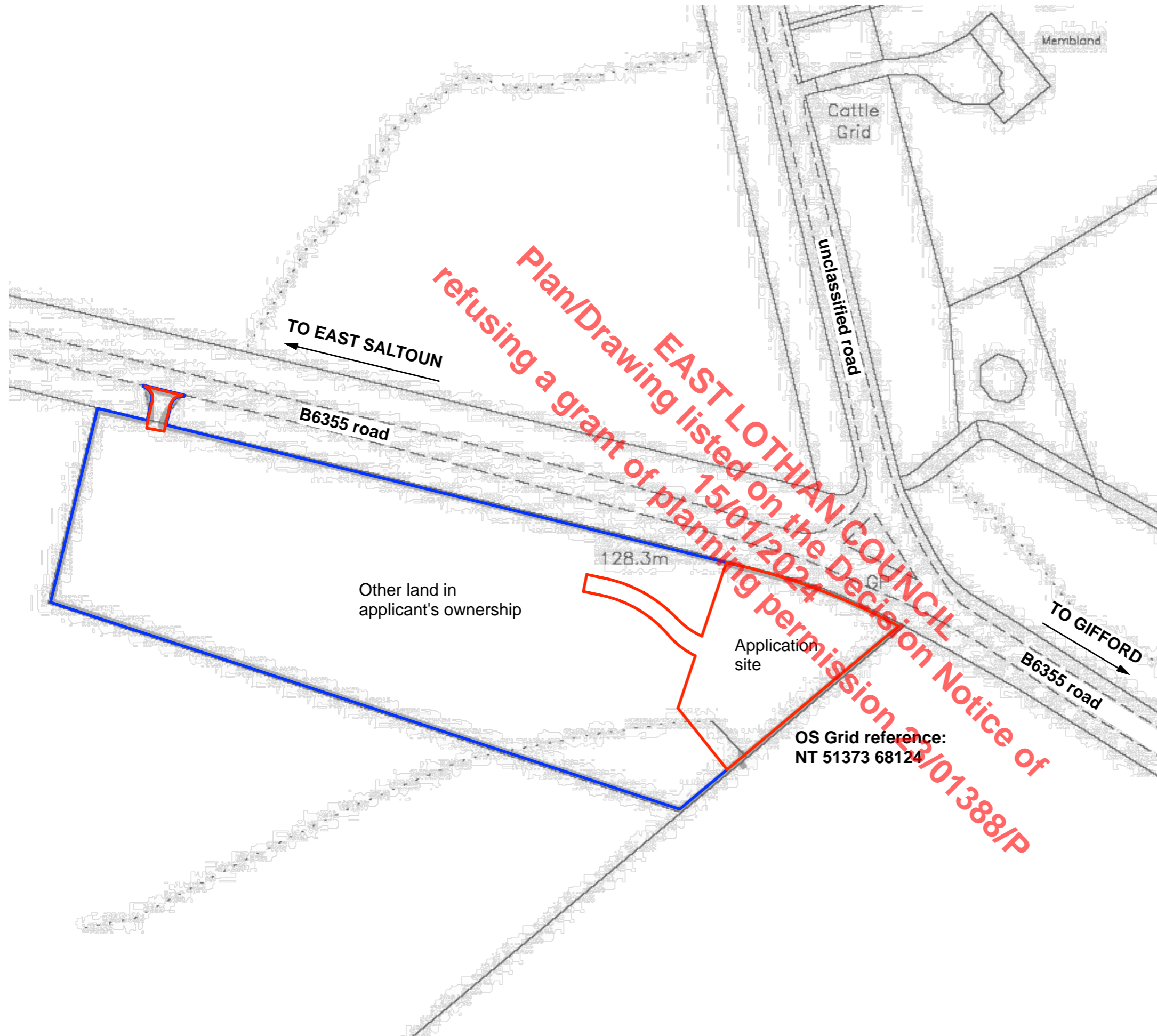
THIS IS A CONSTRUCTION EXCLUSIVE
ZONE

NO ACCESS PERMITTED

NO STORAGE WITHIN THIS AREA

DO NOT MOVE OR DAMAGE THIS
PROTECTIVE FENCING

FOR ACCESS TO THE TREE PROTECTION
AREA, ASK SITE MANAGER TO CONTACT A
QUALIFIED ARBORICULTURAL
CONSULTANT

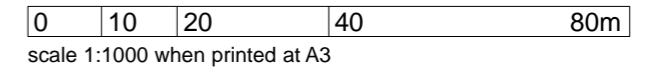


Notes

This drawing has been prepared for the sole purpose of applying for Planning permission. No liability will be accepted for any omission should the information contained herein be used for any other purpose.



Scale



scale 1:1000 when printed at A3

Key



Site boundary



Other land in applicant's ownership

Issue / revision

| | | |
|---|----------|-------------------------------|
| - | 19.10.22 | Planning issue |
| A | 11.11.22 | Ownership boundary amended. |
| B | 21.11.22 | Application boundary amended. |

Sutherland & Co.
Chartered architects

t 01620 248180
e info@sutherland.co.uk
www.sutherland.co.uk

Job Title

Furniture making studios

Location

Bolton Muir Wood

Drawing Title

Location plan

Drawing Status

PLANNING

Drawing Number

2234 (PL) 002

Revision

B

Scale

1:1000 @ A3

Date

Sept 2022

Drawn

RS

Checked

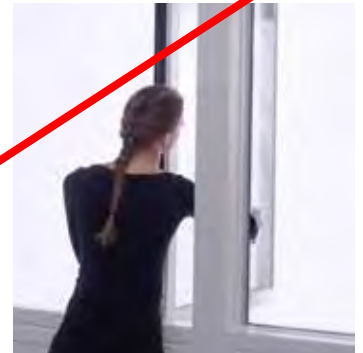
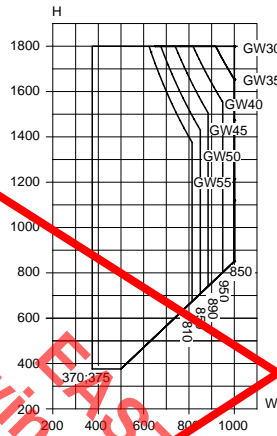
-

VELFAC 200 / VELFAC 200 ENERGY – OPENING FUNCTIONS

SIDE-GUIDED WINDOW

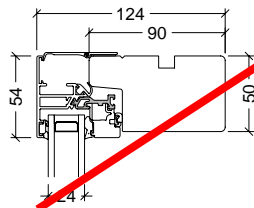


Min./max. sizes, 24mm and 48mm glazing

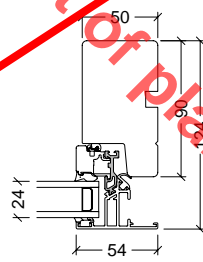


When fully opened, a gap allows external cleaning from the inside.

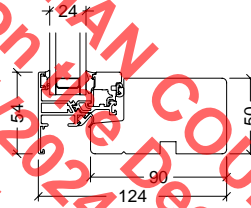
- To open, the sash moves on guide rails mounted on the head and cill
- The sash stops at approx. 90°
- When fully opened, a 15cm (minimum) gap allows cleaning from the inside
- The espagnolette has a built-in ventilation position
- An adjustable friction brake allows random opening position



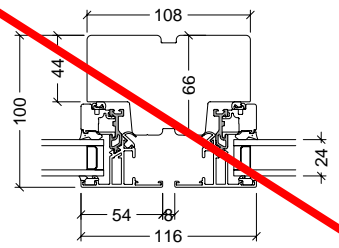
Head



Jamb



Cill

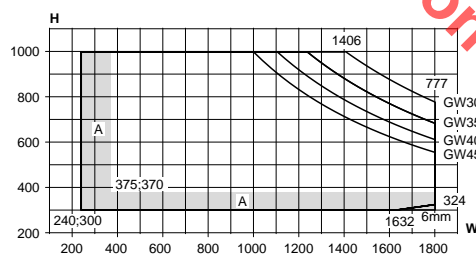


66mm mullion

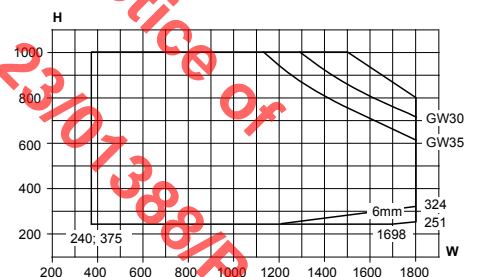
TOPHUNG WINDOW



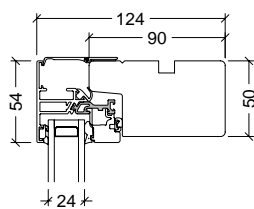
Min./max. sizes, 48mm glazing



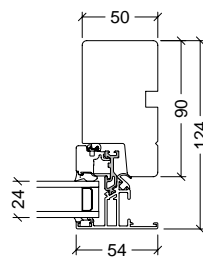
Min./max. sizes, 24mm glazing



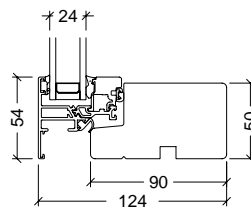
- The sash opens up to 85°
- The espagnolette has a built-in ventilation position
- Opportunity for rescue opening in low, wide windows, where the top-guided windows cannot fulfill the requirement



Head



Jamb



Cill

GW = glass weight (see page 80)
A = With circular catch handle and friction brake

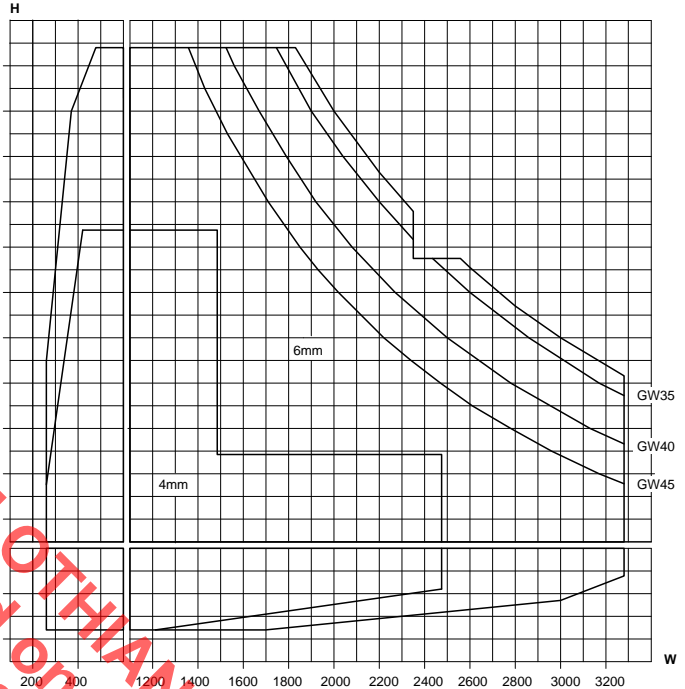
VELFAC 200 / VELFAC 200 ENERGY – OPENING FUNCTIONS

FIXED CASEMENT



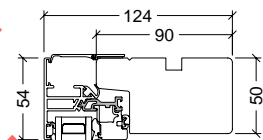
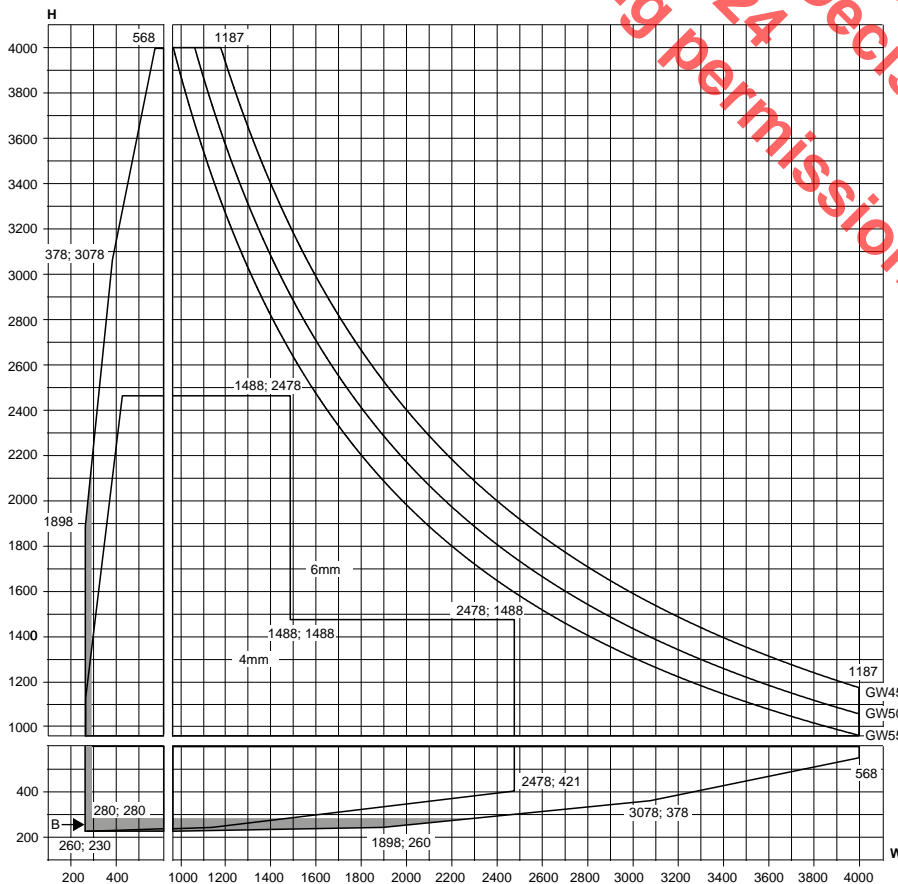
- The frame and sash are integrated
- Appears identical to all VELFAC 200 window types

Min./max. sizes, 24mm glazing

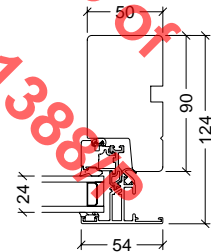


GW = glass weight (see page 80)
B = elements with multiple sashes only

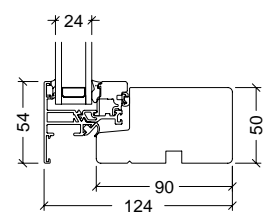
Min./max. sizes, 48mm glazing



Head



Jamb

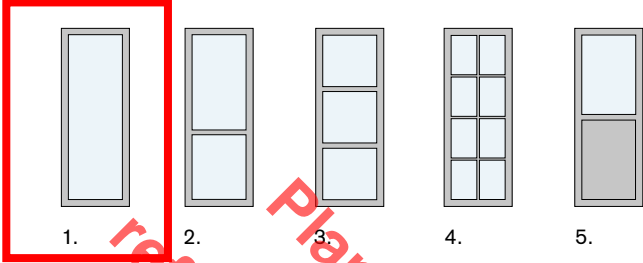


Cill

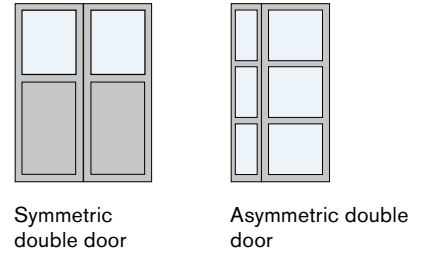
VELFAC WOOD / ALU DOORS – DESIGN

EXAMPLES OF STANDARD GLAZED DOORS AND GLAZING BAR CONFIGURATIONS

Configuration examples

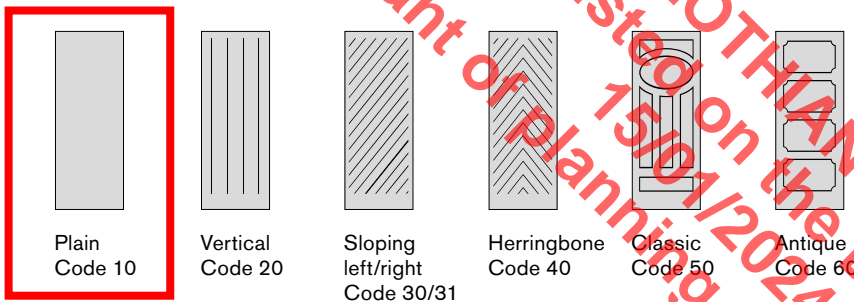


Examples of 2-leaved glazed doors

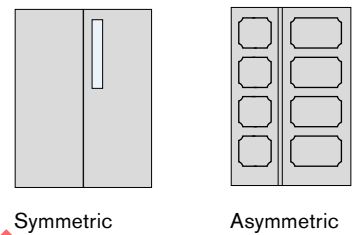


STANDARD FLUSH DOOR DESIGNS AND WINDOW TYPES

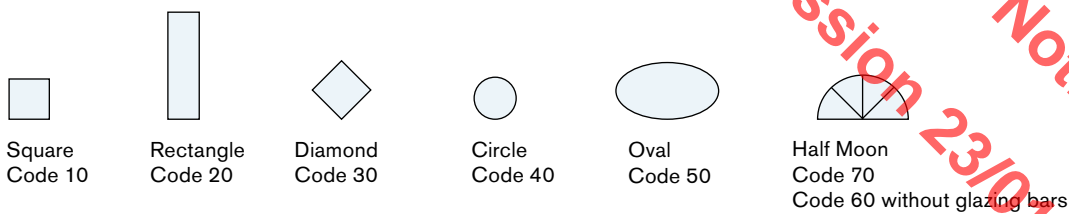
Standard flush door designs



Examples of 2-leaved flush doors



Standard flush door window types



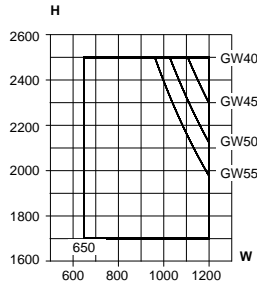
There are some limitations when combining design and window shape. Please call VELFAC for further information.

VELFAC WOOD / ALU DOORS – OPENING FUNCTIONS

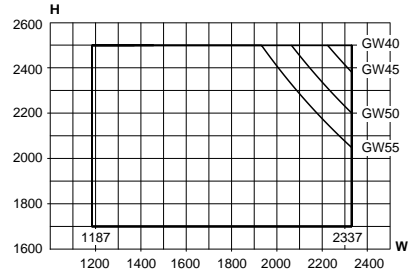
GLAZED ENTRANCE DOORS



Min./max.-sizes, 1-leaf



Min./max.-sizes, 2-leaf



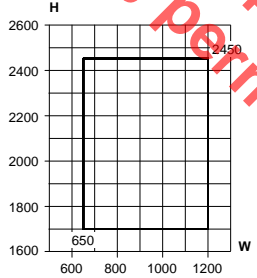
Outward opening Inward opening

- Comprises timber sections with external aluminium profiles
- Can be divided by glazing bars with the resulting apertures glazed or panelled
- Outward or inward opening
- 3 closing points. Can be supplied with single closing point
- Lock box for oval cylinder
- Threshold: 18mm (outward opening) / 22.5mm (inward opening)

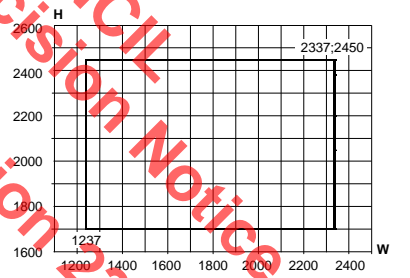
FLUSH ENTRANCE DOORS



Min./max.-sizes, 1-leaf



Min./max.-sizes, 2-leaf



Outward opening Inward opening

- Comprises timber sections with external aluminium profiles to the outer frame only
- Leaves are provided with a timber veneer
- The plain or grooved external finish is available in several designs and incorporates a range of glass apertures
- The internal finish is either plain or vertically grooved
- Inward or outward opening
- With optional kick-plates internally and externally
- 3 closing points. Can be supplied with single closing point
- Lock box for oval cylinder
- Threshold: 18mm (outward opening) / 22.5mm (inward opening)

GW = glass weight
(see page 80)



GLAZING VISION

Pitchglaze Roof Window

201-TDS-UK-001 – v1.4 – 27 Jan 2023



Name: Pitchglaze
Type: Fixed in-plane roof window

Description:

The Pitchglaze is a fixed roof window designed to provide maximum daylight with minimum visible internal structure. Supplied in either portrait or landscape formats, it is designed to be installed in-plane on pitched roof applications.

A variety of optional extras such as special colour and easy clean coating are available.

This product is robust and long-lasting, boasting excellent thermal performance and air tightness.

Intended Use: Fixed roof window to provide natural daylight and weather resistance. The product is fixed and does not open.

| | | | | |
|--|-----------------|---------------------|-----------------|---------------------|
| Internal Finished Opening Dimensions: | Min Span: | 300 mm | Max Span: | 3000 mm |
| | Min Width: | 300 mm | Max Width: | 3000 mm |
| | Min Area: | 0.09 m ² | Max Area: | 4.10 m ² |
| | Min Roof Pitch: | 15° | Max Roof Pitch: | 85° |

Note that the minimum and maximum span, width and pitch are dependent on various factors your technical sales advisor will be happy to advise on these. Further information on roof preparation and product dimensions can be found on our website or by contacting your technical sales advisor.

Glazing: A wide variety of glazing specifications are available for this product. Your technical sales advisor will be happy to answer any questions regarding specific glass specifications or glazing performance requirements. Otherwise, quotes include suitable and cost effective glazing proposals.

Standard Colours: Qualicoat approved RAL 7015 slate grey outer, no inner framework is visible.

Performance and Weathertightness: The aluminium frame of the product employs a dual hardness EPDM insulating gasket to thermally isolate the frame from the interior of the building. Structural integrity is assured through the use of finite element analysis (FEA) and testing.

U-values are calculated for each product and will be supplied in our quote. Further information and specific performance details can be obtained from your technical sales advisor.

The product is sealed to the roof using butyl and silicone and fixed in place with structural fixings which are concealed with internal finishes leaving a sleek external finish.

The product has been thoroughly tested and is UKCA and CE marked in accordance with EN 14351-1:2006+A2:2016. It has achieved the following classification results:

Size: 1000 mm span x 3000 mm width Pitch: 15°

| Test | Standard | Classification/Declared Value | |
|------------------|----------|-------------------------------|--|
| Air permeability | EN 12207 | Class 4 | ±750 Pa |
| Watertightness | EN 12208 | Class E750 | 750 Pa |
| Wind resistance | EN 12210 | Class E2400 | ±2400 Pa Serviceability ±3600 Pa Safety |

Visit our website or contact your technical sales advisor for certification documentation.

Optional Extras:

The following optional extras are available for this standard product at additional cost:

Easy Clean Coating:

A coating applied to the external face of the glass that facilitates water run-off. Helps the glass stay cleaner for longer and makes cleaning easier.

Special Colour:

This product has a single colour as standard. This can be swapped for a special colour.

Flashing Kit:

A kit containing all materials required to flash/weather the product into the surrounding roofing.

A suite of sales drawings is available.

Bespoke options may be available upon request but may incur additional design fees – contact your technical sales advisor for more information.

refusing a grant of planning permission 23/01388/P
EAST LOTHIAN COUNCIL
Plan/Drawing listed on the Decision Notice of
15/01/2024

GLAZINGVISION



www.glazingvision.co.uk



+44 (0)1379 658300



technicalsales@glazingvision.co.uk

Harvest the Sunshine

Mono

390W MBB Half-Cell Module

JAM60S20 365-390/MR Series

Introduction

Assembled with multi-busbar PERC cells, the half-cell configuration of the modules offers the advantages of higher power output, better temperature-dependent performance, reduced shading effect on the energy generation, lower risk of hot spot, as well as enhanced tolerance for mechanical loading.



Higher output power



Lower LCOE



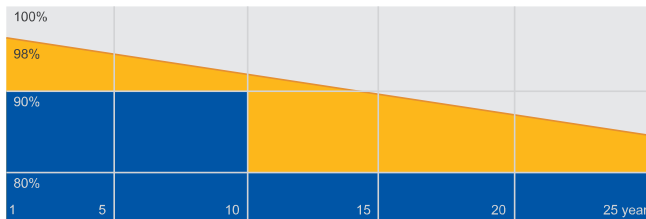
Less shading and lower resistive loss



Better mechanical loading tolerance

Superior Warranty

- 12-year product warranty
- 25-year linear power output warranty



■ JA Linear Power Warranty ■ Industry Warranty

Comprehensive Certificates

- IEC 61215, IEC 61730, UL 61215, UL 61730
- ISO 9001: 2015 Quality management systems
- ISO 14001: 2015 Environmental management systems
- OHSAS 18001: 2007 Occupational health and safety management systems
- IEC TS 62941: 2016 Terrestrial photovoltaic (PV) modules – Guidelines for increased confidence in PV module design qualification and type approval



JA SOLAR

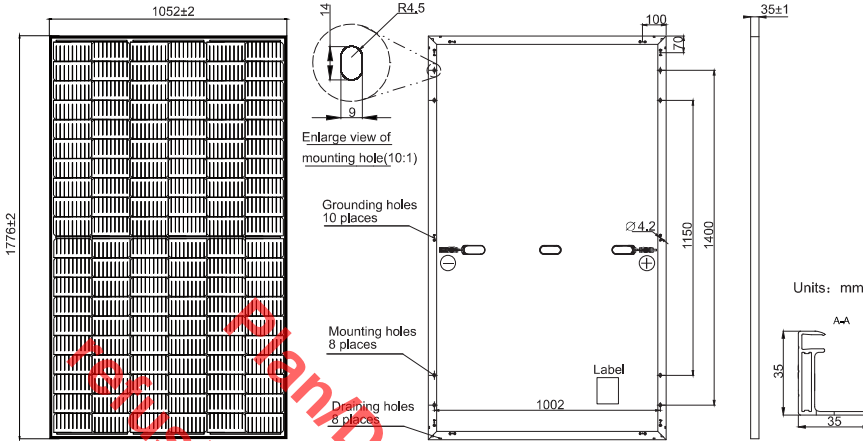
www.jasolar.com

Specifications subject to technical changes and tests.
JA Solar reserves the right of final interpretation.



MECHANICAL DIAGRAMS

SPECIFICATIONS



| | |
|------------------------------------|--|
| Cell | Mono |
| Weight | 20.7kg±3% |
| Dimensions | 1776±2mm×1052±2mm×35±1mm |
| Cable Cross Section Size | 4mm ² (IEC) ,12 AWG(UL) |
| No. of cells | 120(6×20) |
| Junction Box | IP68, 3 diodes |
| Connector | QC 4.10(1000V) QC 4.10-35(1500V) |
| Cable Length (Including Connector) | Portrait:300mm(+)/400mm(-); Landscape:1000mm(+)/1000mm(-) |
| Packaging Configuration | 31pcs/Pallet 744pcs/40ft Container |

Remark: customized frame color and cable length available upon request.

ELECTRICAL PARAMETERS AT STC

| TYPE | JAM60S20 -365/MR | JAM60S20 -370/MR | JAM60S20 -375/MR | JAM60S20 -380/MR | JAM60S20 -385/MR | JAM60S20 -390/MR |
|--|---|---------------------|---------------------|---------------------|---------------------|---------------------|
| Rated Maximum Power(Pmax) [W] | 365 | 370 | 375 | 380 | 385 | 390 |
| Open Circuit Voltage(Voc) [V] | 41.15 | 41.30 | 41.45 | 41.62 | 41.78 | 41.94 |
| Maximum Power Voltage(Vmp) [V] | 33.96 | 34.23 | 34.50 | 34.77 | 35.04 | 35.33 |
| Short Circuit Current(Isc) [A] | 11.30 | 11.35 | 11.41 | 11.47 | 11.53 | 11.58 |
| Maximum Power Current(Imp) [A] | 10.75 | 10.81 | 10.87 | 10.93 | 10.99 | 11.04 |
| Module Efficiency [%] | 19.5 | 19.8 | 20.1 | 20.3 | 20.6 | 20.9 |
| Power Tolerance | 0~+5W | | | | | |
| Temperature Coefficient of Isc(α _{Isc}) | +0.044%/°C | | | | | |
| Temperature Coefficient of Voc(β _{Voc}) | -0.272%/°C | | | | | |
| Temperature Coefficient of Pmax(γ _{Pmp}) | -0.350%/°C | | | | | |
| STC | Irradiance 1000W/m ² , cell temperature 25°C, AM1.5G | | | | | |

Remark: Electrical data in this catalog do not refer to a single module and they are not part of the offer.They only serve for comparison among different module types.

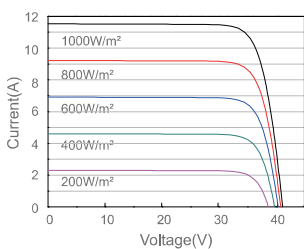
ELECTRICAL PARAMETERS AT NOCT

OPERATING CONDITIONS

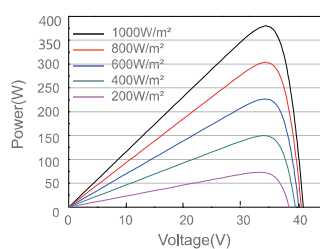
| TYPE | JAM60S20 -365/MR | JAM60S20 -370/MR | JAM60S20 -375/MR | JAM60S20 -380/MR | JAM60S20 -385/MR | JAM60S20 -390/MR | |
|--------------------------------|---|---------------------|---------------------|---------------------|---------------------|---------------------|----------------------------------|
| Rated Max Power(Pmax) [W] | 276 | 280 | 284 | 287 | 291 | 295 | Maximum System Voltage |
| Open Circuit Voltage(Voc) [V] | 38.41 | 38.65 | 38.89 | 39.14 | 39.38 | 39.63 | 1000V/1500V DC |
| Max Power Voltage(Vmp) [V] | 32.05 | 32.30 | 32.55 | 32.72 | 32.96 | 33.20 | Operating Temperature |
| Short Circuit Current(Isc) [A] | 9.15 | 9.20 | 9.25 | 9.30 | 9.35 | 9.40 | -40°C~+85°C |
| Max Power Current(Imp) [A] | 8.61 | 8.66 | 8.71 | 8.78 | 8.83 | 8.88 | Maximum Series Fuse |
| NOCT | Irradiance 800W/m ² , ambient temperature 20°C, wind speed 1m/s, AM1.5G | | | | | | 20A |
| | | | | | | | Maximum Static Load,Front |
| | | | | | | | 5400Pa (112 lb/ft ²) |
| | | | | | | | Maximum Static Load,Back |
| | | | | | | | 2400Pa (50 lb/ft ²) |
| | | | | | | | NOCT |
| | | | | | | | 45±2°C |
| | | | | | | | Safety Class |
| | | | | | | | Class II |
| | | | | | | | Fire Performance |
| | | | | | | | UL Type 1 |

CHARACTERISTICS

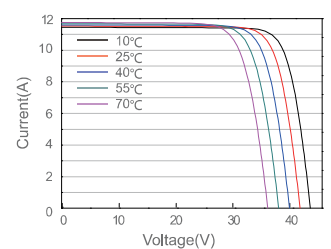
Current-Voltage Curve JAM60S20-380/MR



Power-Voltage Curve JAM60S20-380/MR



Current-Voltage Curve JAM60S20-380/MR



Air/Water heat pump NIBE™ F2300

NIBE air/water heat pump for commercial and residential use

NEW

Features of NIBE™ F2300

COP levels are among the best on the market

Supply temperature 63 °C at -25 °C ambient

Very low noise level

Works down to -25C

Built-in condensate water tray

MCS approved

Benchmark checklist

NIBE F2300

The F2300-14 kW and -20 kW are two new air/water outdoor units that are particularly suitable for commercial applications. Great efforts have been made to create attractive system combinations. The units can be combined in a cascade system to a maximum number of nine units.

Special attention has been given to minimising the noise level. For example, the noise level for the F2300-20 kW is no more than that of a small 2016-8 kW, one of the quietest units available on the market.

These NIBE products have been developed with special attention to making the installation as smooth as possible. For example, we always include anti-vibration water connections with the outdoor unit. A broad accessory programme is available, and there are numerous recommended possible combinations.

Please visit www.nibe.co.uk for further information.



Technical specifications

NIBE™ F2300 outdoor module

| Type | F2300-14 | F2300-20 |
|--|--------------------------|--------------------------|
| COP at 2/35 °C* | 3.84 | 3.53 |
| COP at 2/45 °C* | 3.28 | 3.02 |
| COP at 7/35 °C* | 4.39 | 4.04 |
| COP at 7/45 °C * | 3.69 | 3.41 |
| COP at 7/55 °C* | 3.18 | 2.91 |
| COP at -7/45 °C* | 2.65 | 2.58 |
| COP at -15/45 °C* | 2.20 | 2.16 |
| Operating voltage | 3 x 400 V + N + PE 50 Hz | 3 x 400 V + N + PE 50 Hz |
| Compressor | Scroll EVI compressor | Scroll EVI compressor |
| Fuse | A 16 | A 16 |
| Max outgoing heating medium temperature | °C 65 | °C 65 |
| Refrigerant quantity (R407C) | kg 2.2 | kg 2.8 |
| Connection heating medium ext thread | mm G 1 ¼ (Ø35mm) | mm G 1 ¼ (Ø35mm) |
| Height with stand | mm 1324 | mm 1324 |
| Width | mm 1455 | mm 1455 |
| Depth | mm 620 | mm 620 |
| Weight | kg 224 | kg 230 |
| Lowest operational point. Outdoor air supply | °C -25/63 °C (-10/65 °C) | °C -25/63 °C (-10/65 °C) |

The COP, supply temperature and working range are the best ever achieved by a NIBE air/water heat pump. For example, the F2300-14 is measured at COP=4.39 (A7/W35, EN14511). The supply temperature is 64 °C at -20 °C ambient. The real working range is extended down to -25 °C with the supply temperature still maintained at 63 °C. The heat pump works most efficiently with low-temperature heating systems, but for hot water production and if a building requires high temperatures the new limitation for the building heating system is 65/55 °C.

*In accordance with EN 14511.

Docking options

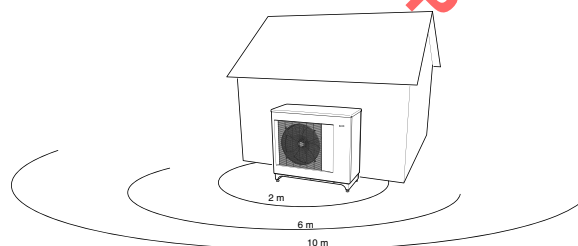
The NIBE F2300 can be installed in several different ways. The requisite safety equipment must be installed in accordance with current regulations for all docking options. For docking options, please see www.nibe.co.uk.

When docking with the NIBE F2300, a total water volume in the boiler and accumulator of at least 20 litres boiler water per kW output on the heat pump is recommended.



| Type | | F2300-14 | | F2300-20 | |
|--|-------|------------|-------------|------------|-------------|
| Sound power level according to EN12102 at 7/45 | Lw(A) | 50/62 | | 53/62 | |
| Fan speed | | Low | High | Low | High |
| Max sound pressure level at 2 m* | dB(A) | 36 | 48 | 39 | 48 |
| Max sound pressure level at 6 m* | dB(A) | 26,5 | 38,5 | 29,5 | 38,5 |
| Max sound pressure level at 10 m* | dB(A) | 22 | 34 | 25 | 34 |

* Free field

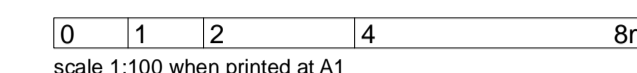


Notes

This drawing has been prepared for the sole purpose of applying for Planning permission. Site boundaries have not been verified against registered title information. No liability will be accepted for any omission should the information contained herein be used for any other purpose.

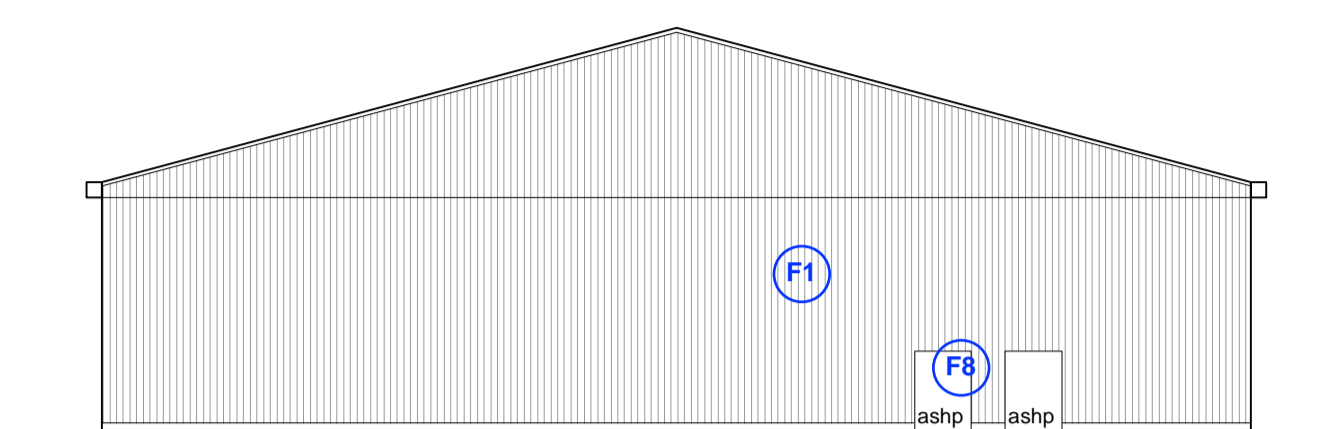


Scale



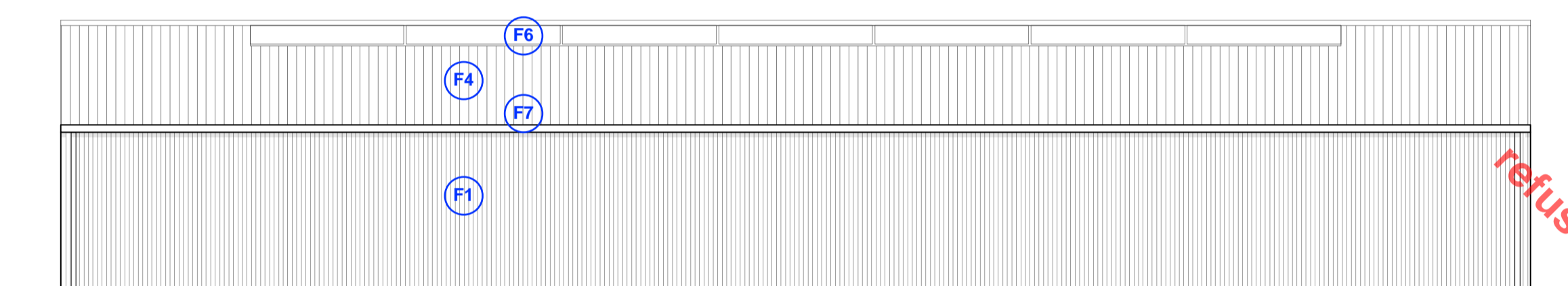
Issue / revision

- 14.11.23 Planning issue.



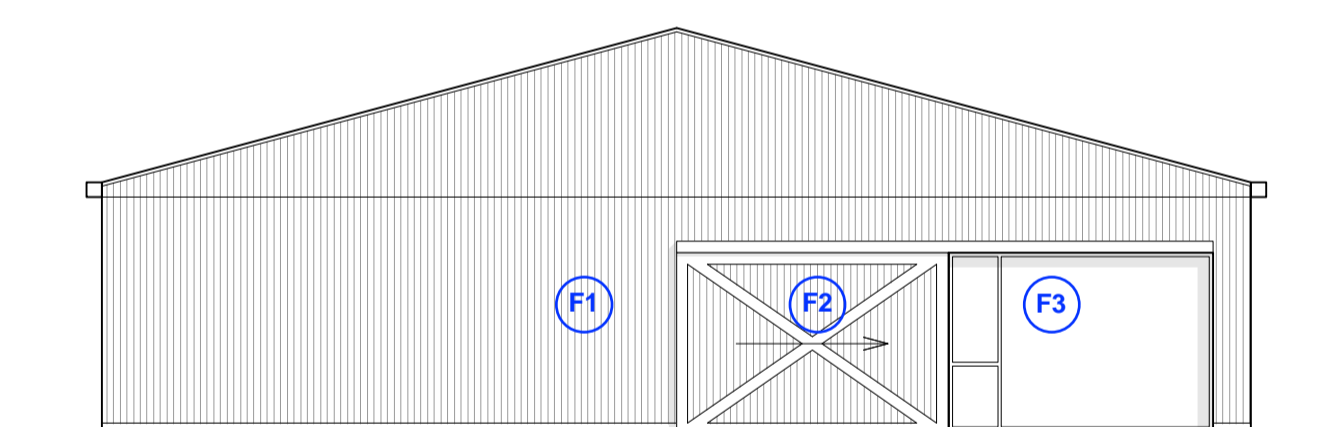
East elevation

scale 1:100



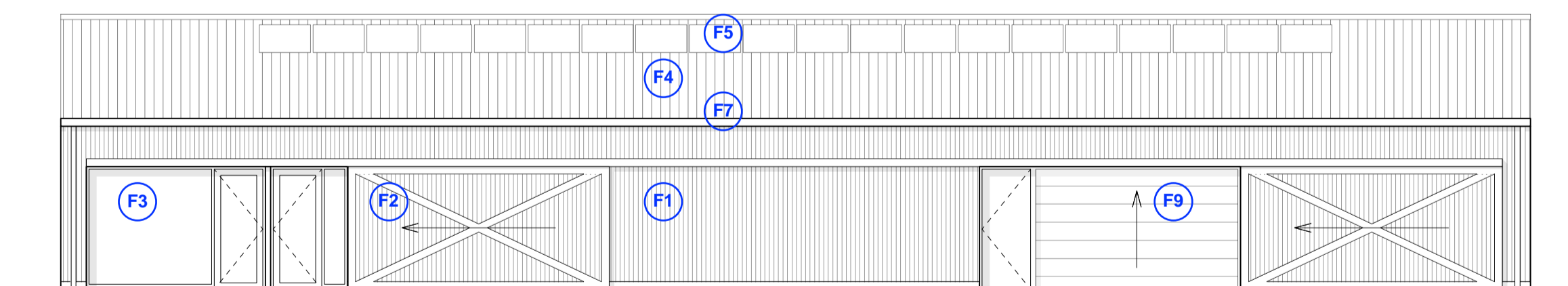
North elevation

scale 1:100



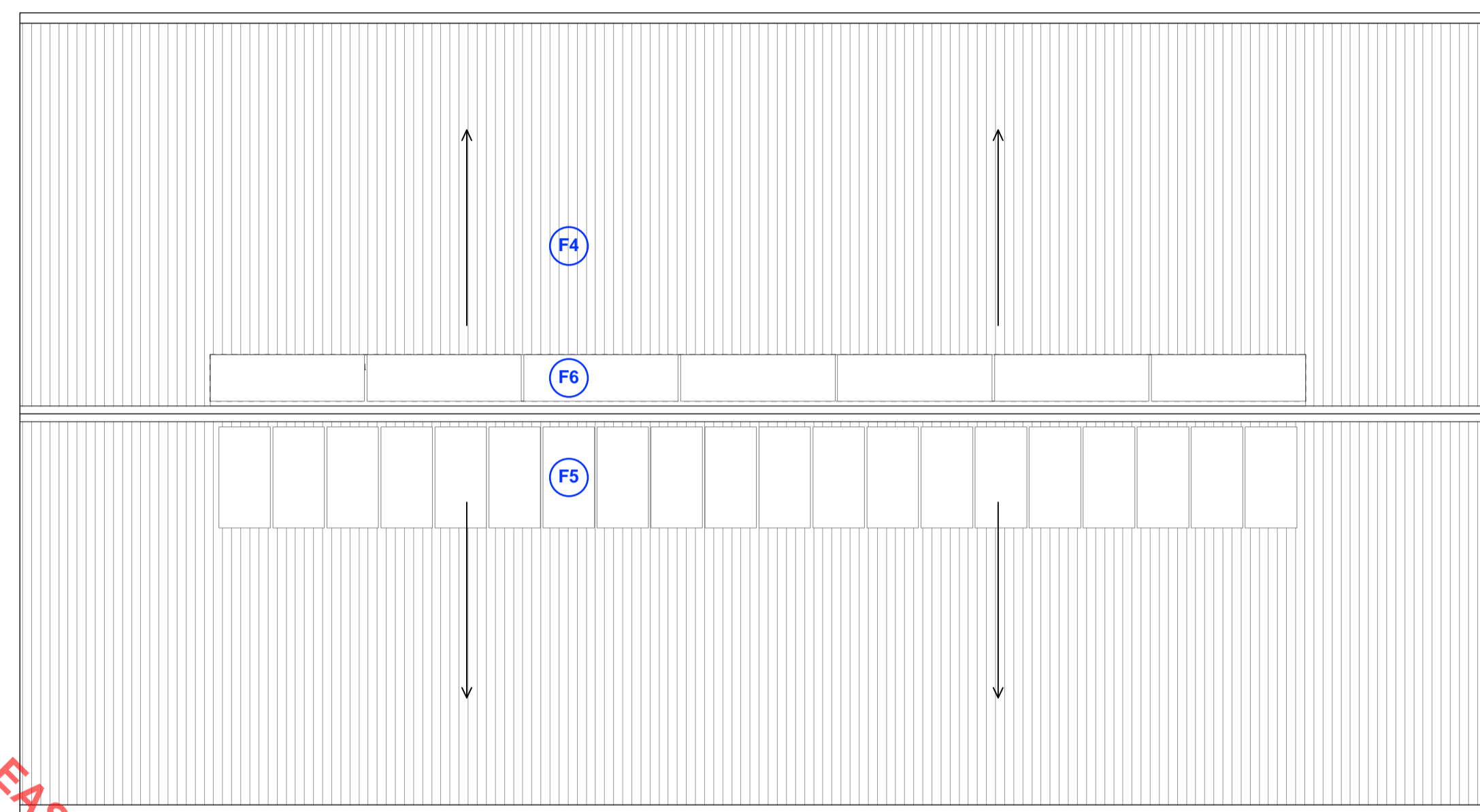
West elevation

scale 1:100



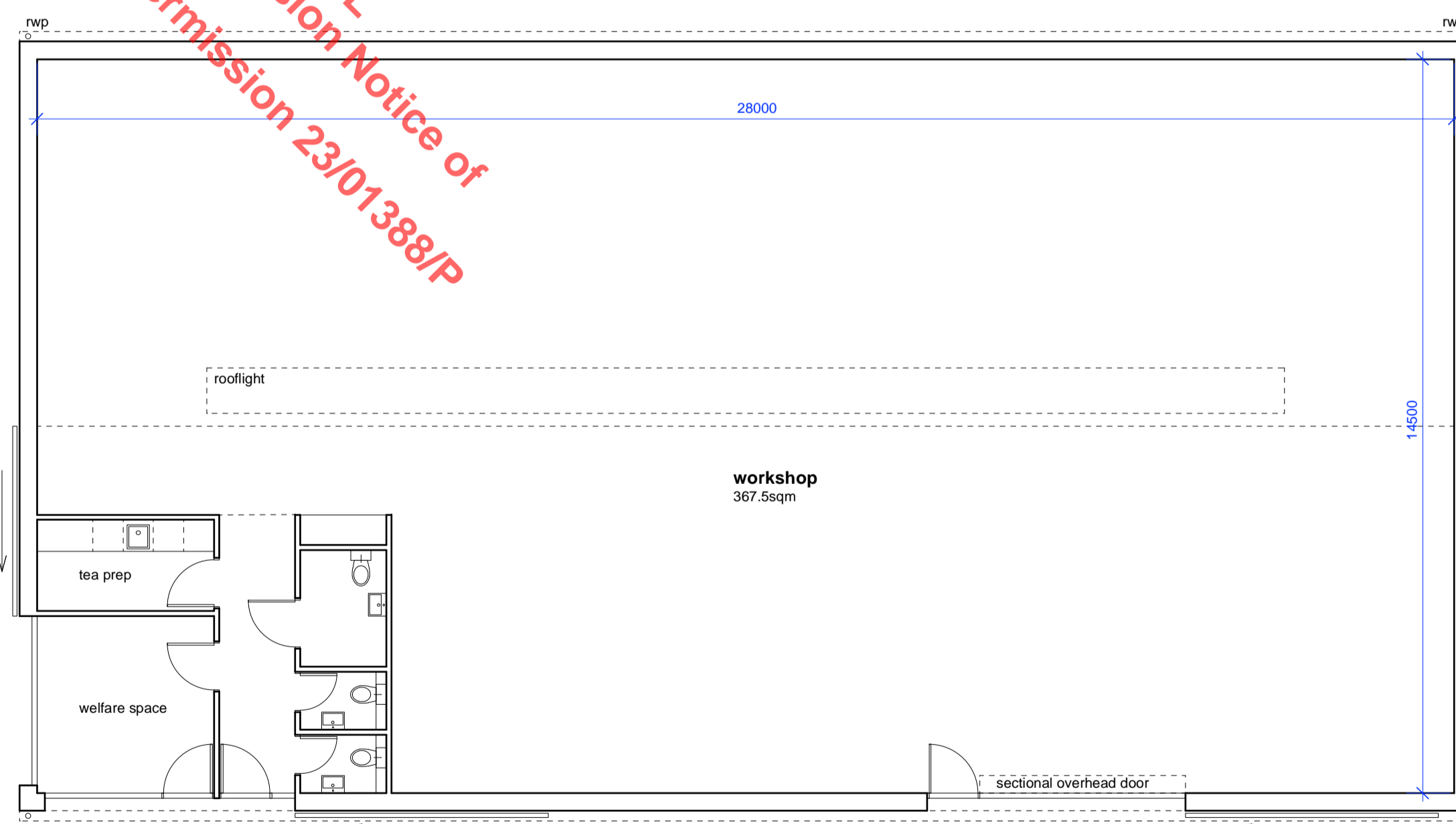
Front (south) elevation

scale 1:100



Roof plan

scale 1:100



Ground floor layout

scale 1:100

EAST LOTHIAN COUNCIL
 Plan/Drawing filed on the Decision Notice of
 15/01/2024
 refusing a grant of planning permission 23/01388/P

Finishes

- F1** Natural Scottish larch cladding
- F2** Natural Scottish larch sliding 'barn doors'
- F3** Composite timber / aluminium windows and doors, external colour grey - BS 18B25
- F4** Profiled steel roof, colour grey - BS 18B25
- F5** Photo-voltaic solar panels
- F6** Rooflights, frame colour dark grey
- F7** Metal box gutter / fascia, colour grey - BS 18B25
- F8** Air Source Heat Pumps
- F9** Sectional door

Sutherland & Co.

Chartered architects

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 e info@sutherland.co.uk
 www.sutherland.co.uk

Job Title
Furniture making studios

Location
Bolton Muir Wood

Drawing Title
General arrangement drawings

Drawing Status
PLANNING

Drawing Number
2234 (PL) 014

| | | | |
|------------|-----------|-------|---------|
| Scale | Date | Drawn | Checked |
| 1:100 @ A1 | Sept 2023 | RS | . |

Revision

-

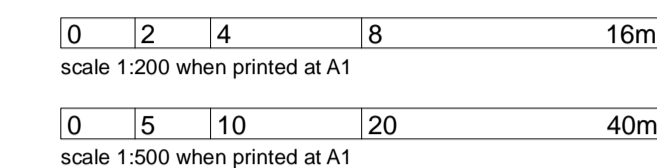
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Notes

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Scale

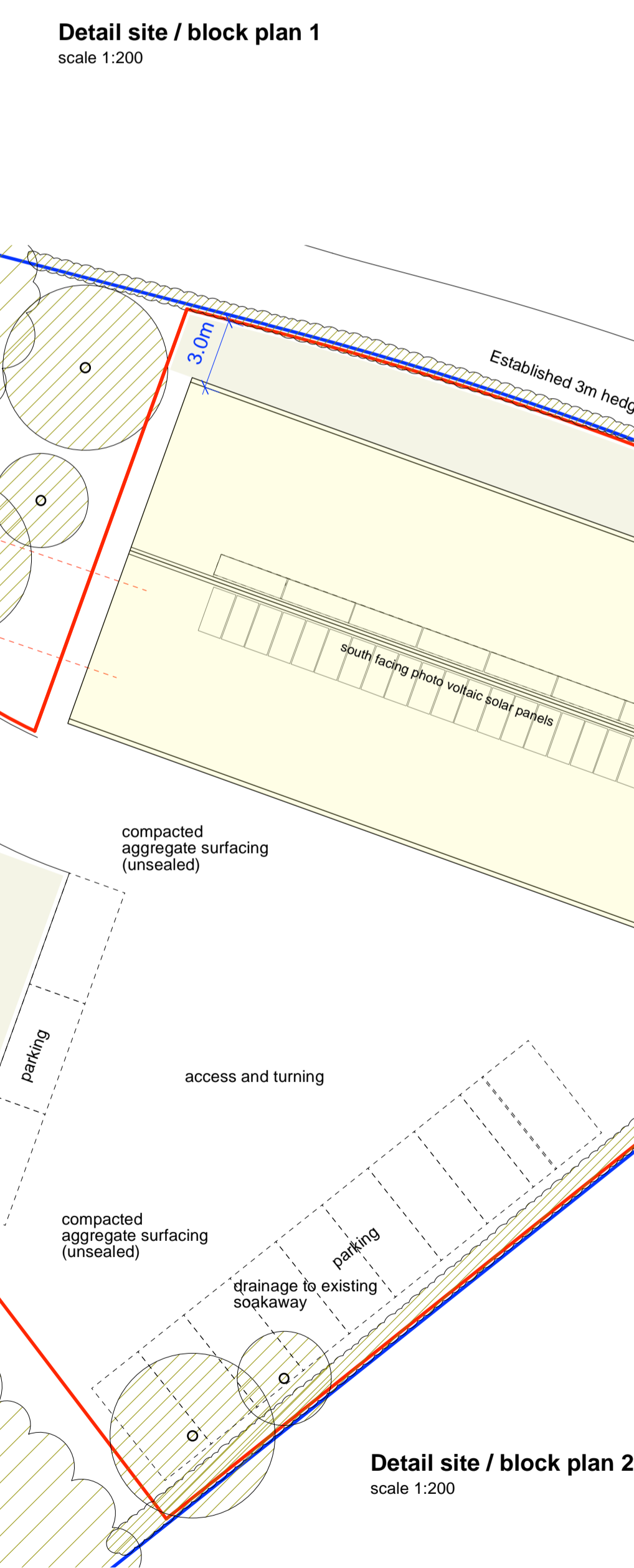
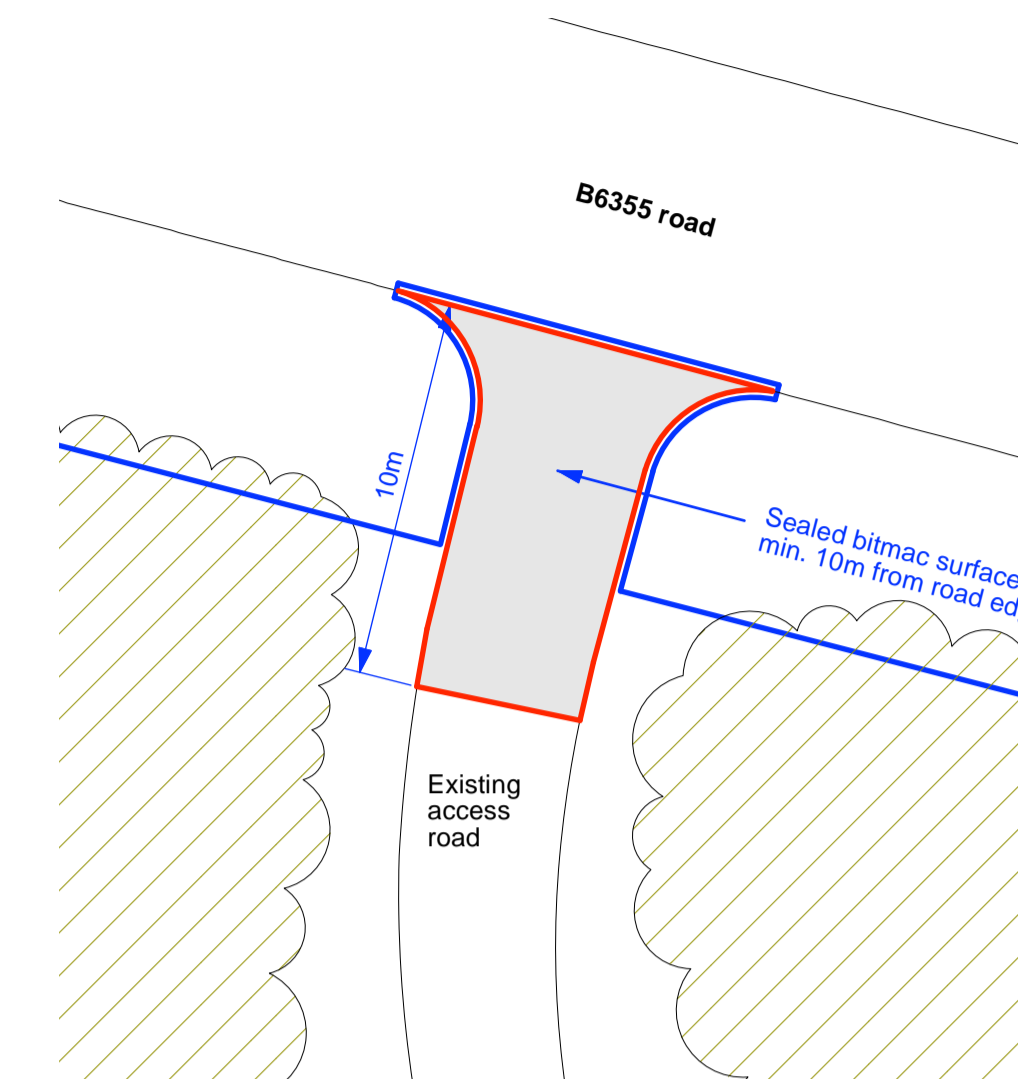
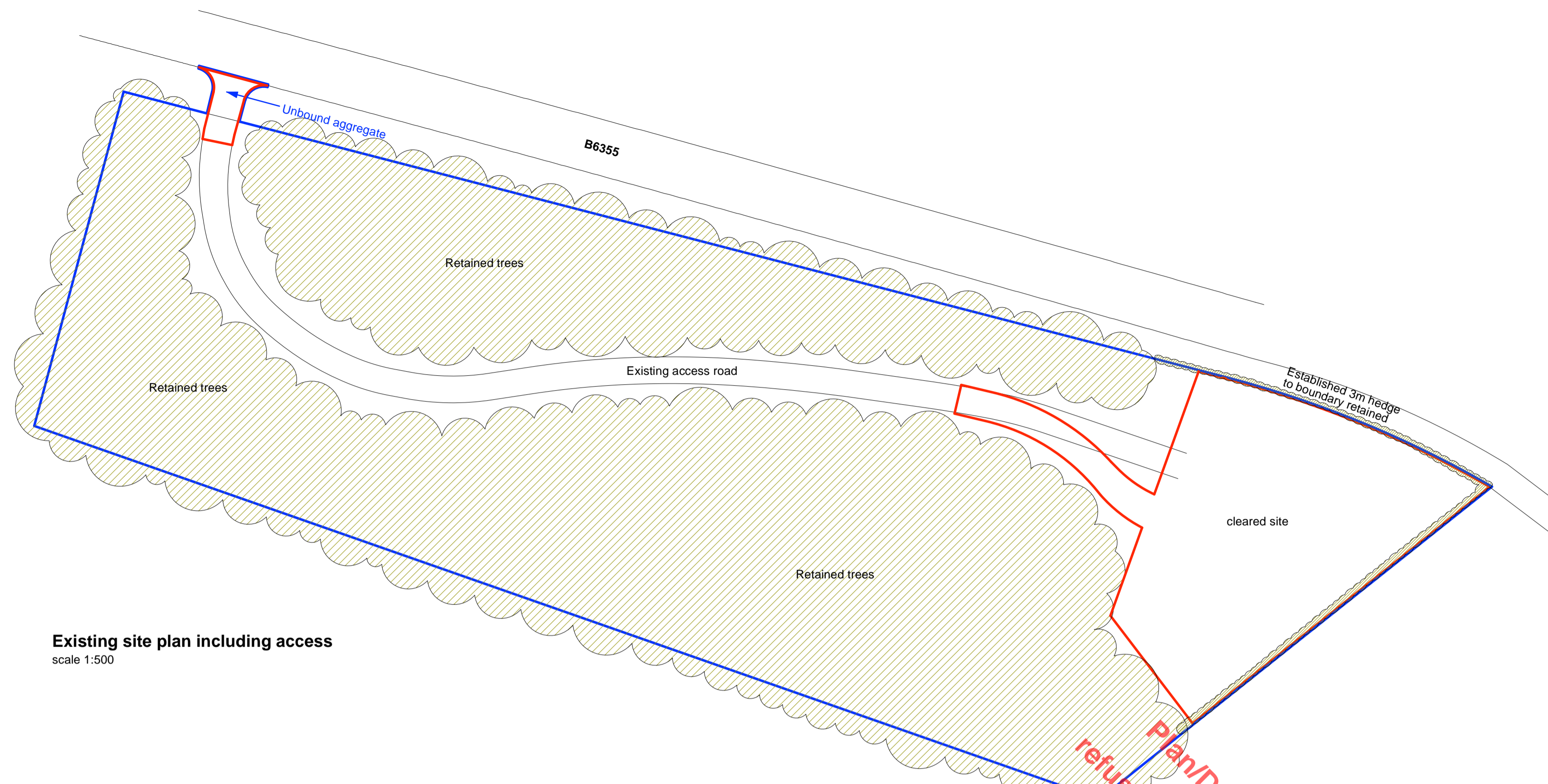


Key

- Site boundary
- Other land in applicant's ownership

Issue / revision

- XX.09.23 DRAFT.



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Job Title
Furniture making studios

Location
Bolton Muir Wood

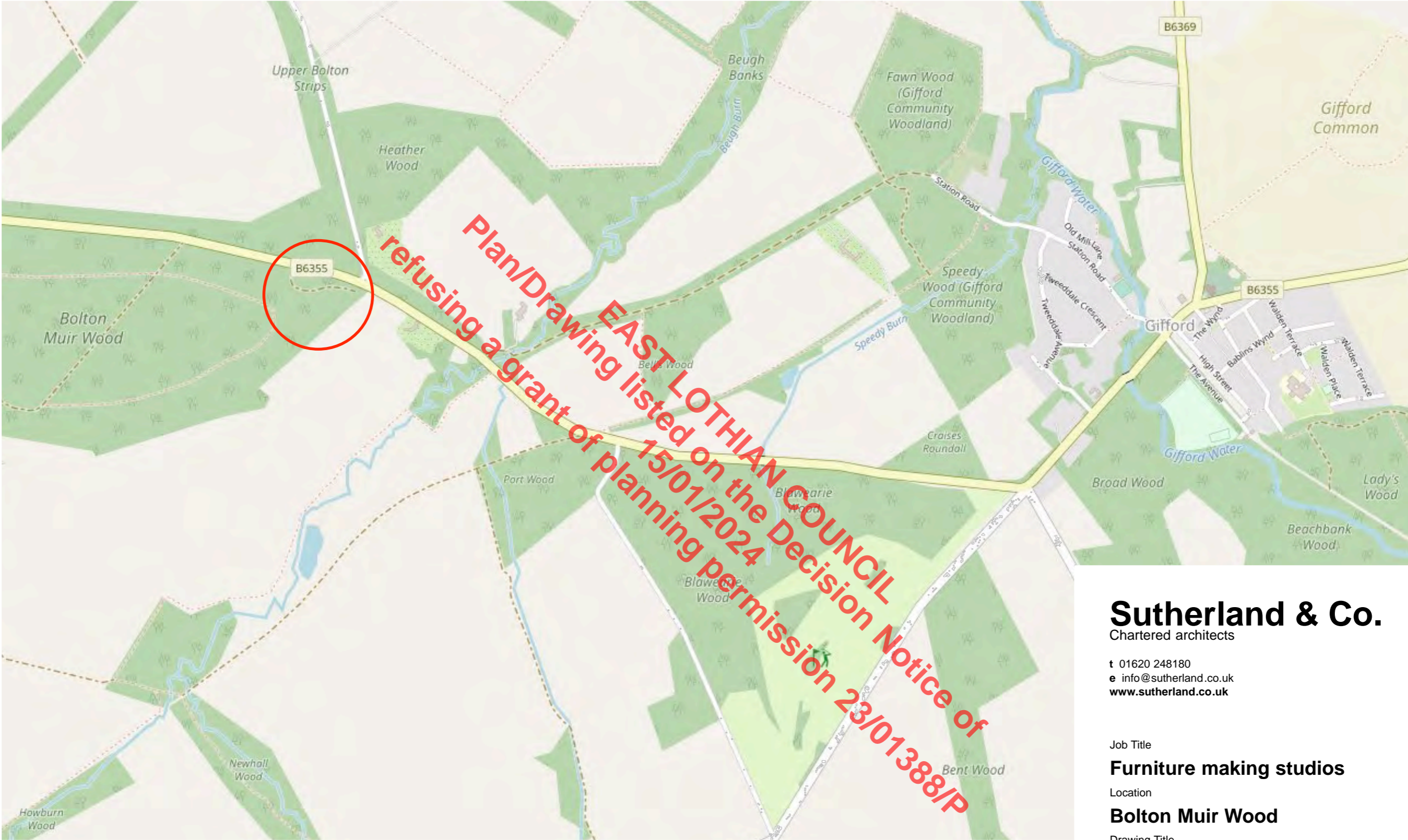
Drawing Title
Site / block plans

Drawing Status
PLANNING

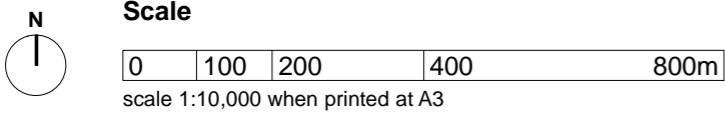
Drawing Number
2234 (PL) 013

Scale Date Drawn Checked
1:200 / 1:500 Sept 2023 RS

Revision
-



Source: OpenStreetMap



| Issue / revision | |
|------------------|-------------------------|
| - | 19.10.22 Planning issue |

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Job Title
Furniture making studios

Location
Bolton Muir Wood

Drawing Title
Location plan

Drawing Status
PLANNING

| Drawing Number | Revision |
|------------------------|--------------|
| 2234 (PL) 001 | - |
| Scale 1:10,000 @ A3 | Checked - |
| Date Sept 2022 | Drawn RS |

App No. 23/01388/P

**EAST LoTHIAN COUNCIL
DECISION NOTICE**

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
TOWN AND COUNTRY PLANNING
(DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATIONS 2013**

**Chapelhill Fine Furniture
c/o APT Planning & Development
Per Tony Thomas
1 West Road
Whitekirk
EH42 1XA**

APPLICANT: Chapelhill Fine Furniture

With reference to your application registered on 21st November 2023 for planning permission under the above mentioned Acts and Regulations for the following development, viz:-

**Erection of furniture making studio (Class 4) and associated works
at
Bolton Muir Wood
Gifford
East Lothian**

East Lothian Council as the Planning Authority in exercise of their powers under the above-mentioned Acts and Regulations hereby **REFUSE PLANNING PERMISSION** for the said development.

The reasons for the Council's refusal of planning permission are:-

- 1 The proposed furniture making studio building is a business use that is not directly related to agriculture, horticulture, forestry, infrastructure or countryside recreation. It is therefore a business use that does not have an operational requirement for this countryside location. Neither is it located on an area identified for business use in the LDP and is not a site that is an area identified as employment land. Therefore the proposal conflicts with Policy 26 of NPF4 and Policy DC1 of the adopted East Lothian Local Development Plan 2018.

- 2 The proposed furniture making studio building would, in the views of it from the B6355 public road and beyond from the junction of the minor road from Eaglescairn, appear as a harmfully dominant and intrusive feature within its landscape setting due to its large size and scale. By virtue of its architectural form, size, scale, proportions, massing and position, the proposed furniture making studio building would not be in keeping with, but rather would significantly alter, the natural landscape character of this part of the East Lothian countryside, contrary to Policies 14 and 29 of NPF4 and Policies DC1, DP1 and DP2 of the adopted East Lothian Local Development Plan 2018.
- 3 It has not been demonstrated that the proposals would not have a harmful impact on the Bolton Muir Local Biodiversity Site or the ecology of the ancient woodland, contrary to Policies 3 and 9 of NPF4 and Policies NH3 and NH5 of the adopted East Lothian Local Development Plan 2018.
- 4 The proposals would result in the loss of a number of trees which positively contribute to the landscape character of the area and form part of an area of ancient woodland of Bolton Muir Wood, contrary to Policy 6 of NPF4 and Policy NH8 of the adopted East Lothian Local Development Plan 2018.
- 5 The width of the existing vehicular access serving the site is not sufficient to accommodate two-way vehicular movements and the existing visibility splay does not comply with the minimum requirements set out in the Council's parking standards, contrary to Policy 13 of NPF4 and Policies T1 and T2 of the adopted East Lothian Local Development Plan 2018.

The report on this application is attached to this Decision Notice and its terms shall be deemed to be incorporated in full in this Decision Notice.

Details of the following are given in the application report:

- the terms on which the Planning Authority based this decision;
- details of any variations made to the application in terms of Section 32A of the Town and Country Planning (Scotland) Act 1997.

The plans to which this decision relate are as follows:

| <u>Drawing No.</u> | <u>Revision No.</u> | <u>Date Received</u> |
|--------------------|---------------------|----------------------|
| MANU LITERATURE 01 | - | 21.11.2023 |
| MANU LITERATURE 02 | - | 21.11.2023 |
| MANU LITERATURE 03 | - | 21.11.2023 |
| MANU LITERATURE 04 | - | 21.11.2023 |
| 2234(PL)002 | B | 21.11.2023 |
| 2234(PL)001 | - | 21.11.2023 |

2234(PL)013 - 21.11.2023

2234(PL)014 - 21.11.2023

15th January 2024



Keith Dingwall
Service Manager - Planning

NOTES

If the applicant is aggrieved by the decision to refuse permission for the proposed development, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. The notice of review should be addressed to the Clerk to the Local Review Body, Committee Team, Communications and Democratic Services, John Muir House, Haddington, East Lothian EH41 3HA.

If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the Planning Authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

OFFICER REPORT

9th January 2024

App No. **23/01388/P**

Application registered on **21st November 2023**

Target Date **20th January 2024**

| | | | |
|----------|---|------------------------------|---|
| Proposal | Erection of furniture making studio (Class 4) and associated works | SDELL | N |
| | | CDEL | N |
| Location | Bolton Muir Wood Gifford East Lothian | Bad Neighbour Development | N |

APPLICANT: **Chapelhill Fine Furniture**

Is this application to be approved as a departure from structure/local plan? N

**c/o APT Planning & Development
Per Tony Thomas
1 West Road
Whitekirk
EH42 1XA**

DECISION TYPE:

Application Refused

PLANNING ASSESSMENT

The application site is an area of vacant land, measuring some 0.15 hectares in area, positioned on the south side of the B6355 (Gifford to East Saltoun) public road, opposite the junction of the Eaglescairn to Bolton public road with the B6355. It is within an area of countryside as defined by Policy DC1 of the adopted East Lothian Local Development Plan 2018. Bolton Muir Wood is a local biodiversity site and it is also designated as ancient woodland. There are a number of mature trees which surround the application site.

The site is bounded to the west by woodland and to the south and east by agricultural land. To the north, on the opposite side of the B6355 public road, are areas of woodland and a house and its garden.

The site is served by an existing gated vehicular access from the B6355 public road and there is an access track which runs through the site. Planning permission (Ref: 02/00436/FUL) for the vehicular access and its associated access track so formed was granted in September 2002.

The site was formerly occupied by a small rectangular shaped single storey house with walls of timber boarding and a pitched roof clad with cedar shingles. In 2002, the existing house on the

site was demolished and an application for a new house (Ref: 02/01309/FUL) was submitted to the Council. Planning permission 02/01309/FUL was refused on the grounds that:

(i) If approved the proposal would set an undesirable precedent for the development of new houses in the countryside, the cumulative effect of which would result in a detrimental impact on the rural character of the open countryside of East Lothian; and

(ii) The proposal amounts to the building of a new house in a countryside location. No case has been made for the building of the proposed new house to meet an agriculture, horticulture, forestry or other employment need. No other operational need has been advanced to justify the erection of the proposed new house. Consequently and because the proposed new house would constitute isolated, sporadic development in the countryside this proposal is contrary to Policy ENV16 of the approved Lothian Structure Plan 1994, Policy DC1 of the adopted East Lothian Local Plan 2000 and Government policy guidance regarding the control of new housing development in the countryside expounded in revised National Planning Policy Guideline 3: Land for Housing and in National Planning Policy Guideline 15: Rural Development.

An appeal against the Council's decision to refuse planning permission 02/01309/FUL was dismissed by Scottish Ministers. Since then the site has remained vacant.

In September 2012, planning permission in principle (Ref: 11/00901/PP) was granted for the erection of 3 holiday homes on this site at Bolton Muir Wood subject to conditions and a Section 75 Legal Agreement. In August 2015, planning permission (Ref: 15/00169/AMC) was granted for approval of matters specified in conditions of planning permission 11/00901/PP for the erection of 3 holiday homes and associated works on the site. Planning permissions 11/00901/PP and 15/00169/AMC lapsed some time ago without them having been implemented.

Planning permission is now sought for the erection of a furniture making studio building (Class 4) and associated works within the site.

The proposed furniture making studio building would be located within an existing cleared area of ground within the southern end of the site and would be orientated on an east to west axis. Its internal floorspace would measure some 406 square metres in area and it would contain a large open plan workshop area and otherwise it would have a tea prep area, a welfare space and toilet facilities.

The proposed building would be rectangular in shape measure some 28.7 metres long, some 15.2 metres wide and some 5.3 metres high to the ridge of its pitched roof form above ground level. Its pitched roof slopes would be clad in grey coloured profile steel sheets and its external walls would be clad in natural larch timber boarding. Its rear (north) and side (east) elevations would be of a solid form and would be positioned some 3 metres and some 5.8 metres away from the north and east boundaries of the site respectively. Its front (south) elevation would have fixed glazed windows, doors and a large solid roller door formed within it that would be recessed behind solid timber sliding doors. It would also have fixed glazed windows formed within the south end of its side (west) elevation that would be recessed behind a solid timber sliding door. It would have a series of roof windows formed within the upper part of its north facing pitched roof slope and 20 solar panels formed within the upper part of its south facing pitched roof slope. Two air conditioning units would be located at the northern end of the side (east) elevation of the proposed building.

The proposed associated works within the site comprise of (i) the surfacing of the existing access into the site, positioned on the west side of the B6355 public road, in a bitmac surface finish; (ii) the re-alignment of part of the existing access track within the site and for the re-surfacing of that new re-aligned access track in a compacted aggregate surface finish; (iii) the formation of a hardstanding area, comprising of a compacted aggregate surface finish, that would abut the base level of the front (south) and side (east and west) elevations of the proposed furniture making studio building; and (iv) the formation of 12 parking spaces within the southern end of the site.

The application is supported by a Planning Statement and an Aboricultural Impact Assessment. Subsequent to its registration, the applicant's agent has also submitted a Transport Statement.

The Planning Statement submitted with this application states that Chapelhill Fine Furniture are craftsman furniture makers who specialise in designing and making high quality bespoke furniture from British hardwoods. It states that the applicant seeks planning permission to build the furniture making studio workshop to support local economic development in supporting both his own business and that of other several other furniture makers and craftspeople who wish to remain in the county. It states that the proposed site at Bolton Muir Wood can provide the necessary scale in a secluded setting whilst the close proximity to Gifford means that the Chippendale School will provide a regular feed of prospective tenants. It states that the proposed workshop, which will accommodate between 5 and 10 craftspeople, will provide bench space for the practicing of hand-skills and furniture assembly whilst also providing the necessary machine-space for larger floor-mounted powered machinery. It states that the furniture created is bespoke and may be commissioned by clients to serve a specific purpose in a house, or be in a particular size, style or type of wood that is not available from other furniture retailers and that furniture repair and restoration work will also be undertaken. It states that working hours in the studio will normally be from 9am until 5pm and that deliveries from timber merchants would typically be every two weeks. It states that deliveries of finished products to clients will usually be carried out by the makers themselves making use of Transit type vans hired specially for the occasion. It states that there is no alternative location within the settlement boundary of Gifford to accommodate the proposed furniture making studio building and that no suitable premises are available elsewhere in East Lothian that are both big enough and affordable. It concludes that the proposal will create/retain up to 10 jobs in Gifford, has few (if any) negative impacts on the site or surrounding area, will incorporate sustainable construction methods and can be accessed directly off the B3655 (via an existing site access) whilst building on the historic success and reputation of the Chippendale International School of Furniture.

This is a substitute application submitted in favour of planning application 22/01217/P that has been withdrawn at the request of the applicant's agent. The main difference between this new application and the previous withdrawn application is that the internal floorspace of the proposed furniture studio making building has been reduced from some 433 square metres to some 406 square metres.

Section 25 of the Town and Country Planning (Scotland) Act 1997 requires that the application be determined in accordance with the development plan, unless material considerations indicate otherwise.

The development plan is National Planning Framework 4 (NPF4) and the adopted East Lothian

Local Development Plan 2018.

Policies 3 (Biodiversity), 6 (Forestry, woodland and trees), 9 (Brownfield, vacant and derelict land and empty building), 13 (Sustainable transport), 14 (Design, quality and place), 26 (Business and Industry) and 29 (Rural Development) of NPF4 are relevant to the determination of this application. Policies DC1 (Rural Diversification), NH3 (Protection of Local Sites and Areas), NH5 (Biodiversity and Geodiversity Interests, including Nationally Protected Species), DP1 (Landscape Character), DP2 (Design), NH8 (Trees and Development), T1 (Development Location and Accessibility) and T2 (General Transport Impacts) of the adopted East Lothian Local Development Plan 2018 are relevant to the determination of the application.

There is no public objection to this application.

Three representations to this application has been received. They are all made in support of this application. The main reasons given by the representors for supporting the proposals are set out below:

- (i) the proposals will create a base for the applicant to run his own business which will provide workspace for other craftsmen and rehabilitate the remaining area of woodland;
- (ii) the proposals will bring an economic benefit and cultural benefit to East Lothian and although it may be possible for the applicant to find suitable premises elsewhere there is no guarantee that the terms of any lease could be negotiated;
- (iii) although industrial units are likely to be available elsewhere, the requirements of the applicant's particular profession (including large, fixed equipment requiring specialist extraction etc) means that suitability goes beyond mere square footage;
- (iv) the proposals to create a bespoke workshop, sustainably and sympathetically, allows the applicant to safeguard the future of his own business, and that of others, in East Lothian;
- (v) any environmental damage to the site has already been done by the previous owner;
- (vi) the general impact of the proposed development will be largely hidden apart from a brief glimpse when approaching from Gifford and as the workshop is likely to be in use mostly during daylight hours any light pollution is likely to be minimal;
- (vii) the proposed furniture making studio business will not be open to the public and does not require a lot of deliveries/collections or the use of large trucks/articulated lorries, so the volume of traffic accessing the site will be small and largely within the control of the applicant; and
- (viii) the application site is a brownfield site and, unlike the previous applications made for a residential home and holiday let lodges, this proposal will strengthen the guardianship of Bolton Muir Wood whilst creating and supporting skilled jobs in the area.

Humbie, East & West Saltoun and Bolton Community Council support this application on the grounds that:

- * the development is consistent with East Lothian Council's Economic Development Strategies in providing workshop/studio space from graduates of the Chippendale School in Gifford who wish to establish businesses locally (there is no similar provision anywhere in the county);
- * bespoke furniture making is an appropriate activity for a woodland setting - more appropriate than the previous permission for holiday accommodation;
- * the proposal reuses a brownfield site rather than clearing an area of woodland;
- * the proposed building is environmentally appropriate, using sustainable materials and renewable energy; and
- * the structure proposed could not readily be re-purposed as residential accommodation.

The proposed resurfacing of the existing access into the site, positioned on the west side of the B6355 public road, in a bitmac surface finish would not radically alter the character or appearance of it. In the manner in which the existing site access is to be upgraded and resurfaced, it would not appear harmfully intrusive, incongruous or exposed within its landscape setting. Neither would (i) the proposed re-alignment of part of the existing access track within the site and for the re-surfacing of that new re-aligned access track in a compacted aggregate surface finish; (ii) the formation of a hardstanding area, comprising of a compacted aggregate surface finish, that would abut the base level of the front (south) and side (east and west) elevations of the proposed furniture making studio building; and (iii) the formation of 12 parking spaces within the southern end of the site. Accordingly, the proposed associated works would not be harmful to the character and appearance of the landscape of the area and thus they do not conflict with Policy 14 of NPF4 or with Policies DP1 or DP2 of the adopted East Lothian Local Development Plan 2018.

In its countryside location the proposed furniture making studio building and its associated works would not harm the privacy or amenity of any neighbouring residential properties.

The Council's Senior Environmental Health Officer raises no objection to the application and notes that the proposal relates to a Class 4 business use and that the nature, scale and size of the proposed development should be capable of being carried out without detriment to local residential amenity.

The Council's Contaminated Land Officer has advised that, whilst there is no direct evidence to suggest any previous contaminative use of the site, there is always the possibility that isolated areas of made ground may exist. Accordingly, he advises that should any 'unexpected' ground conditions (contamination) be encountered at any time when carrying out the development, work on site shall cease and the issue shall be reported to the Planning Authority. At this stage, a Site Investigation and subsequent Risk Assessment may have to be carried out, if requested by the Planning Authority, and that it may also be necessary to submit a Remediation Strategy (should the reporting determine that remedial measures are required) and that a Verification Report would also need to be submitted confirming the satisfactory completion of any necessary remedial works. Accordingly, this recommended control could be made a condition on a grant of planning permission.

Forestry Commission Scotland raise no objection to this application advising that the proposals will have minimal impact on the wider woodland context. However, they note that nine trees within the site are proposed to be removed and thus they state that consideration should be given to replacement planting. They state that any compensatory planting proposal must comply with the UK Forestry Standard and, as a minimum, should include planting details relating to species, cultivation, protection and ongoing maintenance requirements.

The site is located within the countryside of East Lothian. Policy DC1 of the adopted East Lothian Local Development Plan 2018 states that development in the countryside, including changes of use, will be supported in principle where it is for:

- a) agriculture, horticulture, forestry, infrastructure or countryside recreation; or
- b) other businesses that have an operational requirement for a countryside location, including tourism and leisure uses.

The proposed furniture making studio building is a business use that is not directly related to agriculture, horticulture, forestry, infrastructure or countryside recreation. It is therefore a business use that does not have an operational requirement for this countryside location. The supporting statement submitted by the applicant's agent states that there is no alternative location within the settlement boundary of Gifford to accommodate the proposed furniture making studio building and that no suitable premises are available elsewhere in East Lothian that are both big enough and affordable. However, the supporting statement does not provide any evaluation of alternative locations that have been considered nor does it provide any justification as to why those alternative sites are not attractive to local businesses seeking a commercial premise. Therefore the principle of this use of the site as a furniture making studio building conflicts with Policy DC1 of the adopted East Lothian Local Development Plan 2018.

Policy 26 of NPF4 states that development proposals for business, general industrial and storage uses outwith areas identified for those uses in the LDP will only be supported where (i) it has demonstrated that there are no suitable alternatives allocated in the LDP or identified in the employment land audit; and (ii) the nature and scale of the activity will be compatible with the surrounding area. In this specific case, the application site is not an area identified for business use in the LDP and is not a site that is an area identified as employment land. Furthermore, no information has been submitted to demonstrate whether there are any alternative sites in more suitable locations. Whilst the supporting statement concludes that the use of this brownfield site would give the applicant the opportunity to build on, and maintain a link to, the success of the Chippendale School of Furniture, the need for a furniture making studio building (particularly of the size and scale shown for it) within this countryside location has not been justified. Therefore the proposal conflicts with Policy 26 of NPF4.

Policy 29 of NPF4 states that development proposals that contribute to viability, sustainability and diversity of rural communities and local rural economy will be supported that involve reuse of brownfield land where a return to a natural state has not or will not happen without intervention. Policy 29 further states that development proposals in rural areas should be suitably scaled, sited and designed to be in keeping with the character of the area. Moreover, Policies DP1 and DP2 of the adopted East Lothian Local Development Plan 2018 requires that new development be well integrated into their surroundings and complement those surroundings.

The proposed furniture making studio building would be located within an existing cleared area of ground within the southern end of the site and would be orientated on an east to west axis. It would be rectangular in shape measure some 28.7 metres long, some 15.2 metres wide and some 5.3 metres high to the ridge of its pitched roof form above ground level. Its north elevation would be located parallel to, and some 3 metres away from, the existing hedge positioned along the eastern end of the north roadside boundary of the site. As positioned and orientated on the site, the exposed 28.7 metres long north elevation of the proposed building, at a height of some 5.3 metres above ground level, would not be sufficiently screened by the existing hedging along the eastern end of the north roadside boundary of the site. In the views to which it would be seen from the B6355 public road and beyond from the junction of the minor road from Eaglescairnie, the proposed furniture making studio building would appear as a harmfully dominant and intrusive feature within its landscape setting. Moreover, the application drawings show the intention to remove a number of trees that would further expose the furniture making studio building's visual prominence in views of it from the B6355 public road. By virtue of its architectural form, size, scale, proportions, massing and position, the proposed furniture making studio building would not be in keeping with, but rather would

significantly alter, the natural landscape character of this part of the East Lothian countryside. It would detract from the landscape character and amenity of the area contrary to Policies 14 and 29 of NPF4 and Policies DC1, DP1 and DP2 of the adopted East Lothian Local Development Plan 2018.

The Council's Biodiversity Officer notes that this application is not accompanied by an ecological survey and advises that the proposed development is within the Bolton Muir Local Biodiversity Site which will have both direct and indirect impacts on trees and the adjacent woodland. She also advises that, since the adoption of NPF4, the importance of ecological survey work to inform planning applications is increasingly important - particularly to guide biodiversity enhancements under Policy 3 but also in this instance noting that Policy 9 (brownfield, vacant, derelict land) states that "in determining whether the reuse of land is sustainable, the biodiversity value of brownfield land which has naturalised should be taken into account". Accordingly, the Council's Biodiversity Officer objects to this planning application stating that the proposal will negatively impact on the Bolton Muir Local Biodiversity Site, contrary to Policies 3 and 9 of NPF4 and Policies NH3 and NH5 of the adopted East Lothian Local Development Plan 2018.

Policy 6 of NPF4 states, amongst other things, that development proposals will not be supported where they will result in any loss of ancient woodlands, ancient and veteran trees, or adverse impact on their ecological condition.

Policy NH8 of the adopted East Lothian Local Development Plan 2018 states that there is a strong presumption in favour of protecting East Lothian's woodland resources. Development affecting trees, groups of trees or areas of woodland will only be permitted where; (i) in the case of woodland, its loss is essential to facilitate development that would achieve significant and clearly defined additional public benefits in line with the Scottish Government's Policy on Control of Woodland Removal; in particular the loss of Ancient Woodland will not be supported; or (ii) in the case of individual trees or groups of trees, their loss is essential to facilitate development that would contribute more to the good planning of the area than would retaining the trees or group of trees. It also notes that development must conform to British Standard 5837:2012 Guide for Trees in Relation to Design, Demolition and Construction.

The Council's Landscape Officer notes that the proposals are located within the eastern corner of Bolton Muir Wood, which is identified as an area of ancient woodland, and that the site is surrounded by hedges, trees and woodland understorey. She also notes from the submitted arboricultural report that 9 trees are to be felled to facilitate the proposals, 6 of which are located at the vehicular entrance to the site to enhance sightlines/visibility splay from and to the adjacent B6355 public road and 3 of which are to be removed to facilitate access and turning areas within the site. She also notes that the arboricultural report indicates that the proposed development encroaches within the root protection areas of three other trees (numbered T11, T13 and T14) and that an additional tree (number T2), which lies outwith the site to the southeast and does not appear to be within the ownership of the applicant, is also to be removed. She advises that no mitigation for removed trees has been included with this application nor is there any biodiversity enhancement proposed. She also notes that whilst the supporting statement mentions management of adjacent woodland there is no information provided to demonstrate how this will be done. She also advises that the site plan does not align with the tree protection plan. Notwithstanding the above, the Council's Landscape Officer advises that development within areas of ancient woodland is not supported. Accordingly, the proposal conflicts with Policy 6 of NPF4 and with Policy NH8 of the adopted East Lothian

Local Development Plan 2018.

Policy 13 of NPF4 states that, amongst other things, development proposals will be supported where it can be demonstrated that the transport requirements generated have been considered in line with the sustainable travel and investment hierarchies and where appropriate they (i) provide direct, easy, segregated and safe links to local facilities via walking, wheeling and cycling networks before occupation; (ii) will be accessible by public transport, ideally supporting the use of existing services; (iii) integrate transport modes; (iv) provide low or zero-emission vehicle and cycle charging points in safe and convenient locations, in alignment with building standards; (v) supply safe, secure and convenient cycle parking to meet the needs of users and which is more conveniently located than car parking; (vi) are designed to incorporate safety measures including safe crossings for walking and wheeling and reducing the number and speed of vehicles; (vii) have taken into account, at the earliest stage of design, the transport needs of diverse groups including users with protected characteristics to ensure the safety, ease and needs of all users; and (viii) adequately mitigate any impact on local public access routes.

Policy T1 of adopted East Lothian Local Development Plan 2018 states that new developments shall be located on sites that are capable of being conveniently and safely accessed on foot and by cycle, by public transport as well as by private vehicle, including adequate car parking provision in accordance with the Council's standards.

Policy T2 of the adopted East Lothian Local Development Plan states that new development must have no significant impact on road safety or on the capacity of the surrounding road network to deal with traffic unrelated to the proposed development.

The Council's Road Services have been consulted on the application and they state that the proposed 12 car parking spaces to be formed within the site accords with the Council's adopted car parking standards for this land use in a rural area. They state that some cycle parking should be made available, either within the site or contained within the building, and recommend that an electric vehicle charging point be provided for staff and customer use. They also recommended that a draft construction method statement be submitted for their review.

Notwithstanding the above, the Council's Road Services also note that the vehicular access to the site is taken from the B6355 public road and makes use of an existing private gated access point into the woodland area. They state that the B6355 public road is a single carriageway rural road with a 60mph national speed limit and has a relatively straight alignment at the point of the access whereby relatively high speeds can occur. They state that the proposals show a visibility splay of 2.4 metres by 160 metres which is below the Council's minimum requirements for a visibility splay on a road of this type and typical speeds. They also state that the width of the existing vehicular access is not wide enough for two larger vehicles to pass one another and thus indicate that this will be potentially problematic in the situation whereby vehicles arrive and depart at the same time which could result in vehicles entering the site having to wait on the main road for vehicles to exit. They therefore indicate that a visibility splay of 4.5 metres by 215 metres would be required, with all necessary tree clearances undertaken to ensure the visibility splays are kept clear of obstructions above 1.05 metres in height, and that the width of the site access and first 30 metres of the access road be increased by 3 metres to accommodate two-way movements. They also recommend that the bell mouth of the junction be surfaced in a sealed bitmac finish for the first 20 metres of its length to minimise loose chippings being displaced onto the B6355 road surface. They also note that the

submitted Transport Statement provides speed data on the B6355 public road which shows that 85% of speeds are 57.7mph and 55.3mph in the east and west directions respectively. However, and whilst it is noted that this is slightly below the 60mph speed limit, and that the transport statement suggests that road warning signs together with rumble strips and/or road markings could be used, the Council's Road Services Officer states that none of these measures allow for a relaxation on the visibility splay distance at the junction into the site such that a 4.5 metres by 215 metres splay would still be needed. The Council's Road Services Officer also advises that a full 4.5 metres by 215 metres visibility splay for the proposed Class 4 furniture making studio use is based on the nature of the operation and the associated likely number and type of vehicle movements to and from the business, with particular reference to heavy vehicles. The relaxation to a 2.5 metres by 160 metres visibility splay for the previous permission for 3 holiday homes would have been justified based on the typical vehicle movements associated with that particular land use, which would attract fewer vehicle movements overall and fewer heavy vehicles in particular, therefore meaning a less onerous requirement was stipulated. Furthermore, he also advises that the speed survey data for the B6355 suggests that, based on the 85%ile speeds being identified as only slightly below the 60mph speed limit, that the 215 metres 'Y' distance would be appropriate. Given that the width of the existing vehicular access serving the site is not sufficient to accommodate two-way vehicular movements and as the existing visibility splay does not comply with the requirements of the Council's parking standards, the proposal is contrary to Policy 13 of NPF4 and Policies T1 and T2 of the adopted East Lothian Local Development Plan 2018.

In conclusion, the proposed furniture making studio building and its associated works are contrary to Policies 3, 6, 9, 13, 14, 26 and 29 of NPF4 and with Policies DC1, NH3, NH5, DP1, DP2, NH8, T1 and T2 of the adopted East Lothian Local Development Plan 2018 are relevant to the determination of the application.

It is now necessary to consider whether or not there are material considerations in this case that outweigh this conflict with the Development Plan.

A material consideration is the previous planning history of the site. In that respect, planning permission was granted for the erection of 3 holiday homes within the site but was not implemented. However, those 3 holiday homes were smaller, in both their sizes and footprints, in comparison to the now proposed furniture making studio building. Moreover, unlike this current application, the 3 holiday homes did not require the removal of all the trees within the site. Therefore, the impact of the proposed furniture making studio building would be significantly greater, in terms of its built form and visual prominence, than the approved scheme of development for the 3 holiday homes within this part of the site. Consequently the fact that permission has previously been granted for the 3 holiday homes is not a material planning considerations that outweighs the fact that the proposed building would be contrary to the development plan.

Another material consideration is that the supporting statement submitted by the applicant states that the proposals will contribute to the vitality and diversity of the East Lothian rural economy and specifically in the Gifford area creating new employment opportunities (approx. up to 10 jobs) and helping create a wood workers area of excellence.

The Council's Economic Development Service Manager states that the proposals will (i) support business development and employment growth in a primarily rural part of East Lothian; (ii) create jobs and support a number of local businesses; and (iii) support the viability

and growth of the existing Chippendale School of Furniture business. Therefore, the Council's Economic Development Service Manger supports this planning application stating that the furniture making studio building and its associated works support the strategic goals and objectives of the Economic Development Strategy 2012-2022. However, the local economic benefits associated with the proposals are not a material planning consideration that outweigh the fact that the proposed building is contrary to the development plan.

In conclusion the proposed furniture making studio building and its associated works is not in accordance with the Development Plan and there are no material planning considerations that outweigh the fact that the proposals are not in accordance with the Development Plan and is contrary to Policies 3, 6, 9, 13, 14, 26 and 29 of NPF4 and Policies DC1, NH3, NH5, DP1, DP2, NH8, T1 and T2 of the adopted East Lothian Local Development Plan 2018.

REASONS FOR REFUSAL:

- 1 The proposed furniture making studio building is a business use that is not directly related to agriculture, horticulture, forestry, infrastructure or countryside recreation. It is therefore a business use that does not have an operational requirement for this countryside location. Neither is it located on an area identified for business use in the LDP and is not a site that is an area identified as employment land. Therefore the proposal conflicts with Policy 26 of NPF4 and Policy DC1 of the adopted East Lothian Local Development Plan 2018.
- 2 The proposed furniture making studio building would, in the views of it from the B6355 public road and beyond from the junction of the minor road from Eaglescairnie, appear as a harmfully dominant and intrusive feature within its landscape setting due to its large size and scale. By virtue of its architectural form, size, scale, proportions, massing and position, the proposed furniture making studio building would not be in keeping with, but rather would significantly alter, the natural landscape character of this part of the East Lothian countryside, contrary to Policies 14 and 29 of NPF4 and Policies DC1, DP1 and DP2 of the adopted East Lothian Local Development Plan 2018.
- 3 It has not been demonstrated that the proposals would not have a harmful impact on the Bolton Muir Local Biodiversity Site or the ecology of the ancient woodland, contrary to Policies 3 and 9 of NPF4 and Policies NH3 and NH5 of the adopted East Lothian Local Development Plan 2018.
- 4 The proposals would result in the loss of a number of trees which positively contribute to the landscape character of the area and form part of an area of ancient woodland of Bolton Muir Wood, contrary to Policy 6 of NPF4 and Policy NH8 of the adopted East Lothian Local Development Plan 2018.
- 5 The width of the existing vehicular access serving the site is not sufficient to accommodate two-way vehicular movements and the existing visibility splay does not comply with the minimum requirements set out in the Council's parking standards, contrary to Policy 13 of NPF4 and Policies T1 and T2 of the adopted East Lothian Local Development Plan 2018.

LETTERS FROM



9th January 2024