

From: Maggie Sinclair [REDACTED]  
Subject: East Lothian Planning Application #23/01010/P  
Date: 17 Jan 2024 at 14:08:41  
[REDACTED]

East Lothian Planning Application #23/01010/P  
Appeal for refusal of above application.

The current windows are very dated and cause significant draughts. We believe that the replacement of the windows will improve the energy efficiency of the property both through improved U Values and higher quality fitting. We see this improvement to the fabric and energy performance of our home as contributing to progress on outcome 3 of the East Lothian Climate Change Strategy.

E.L.Housing Strategy and Development .....

3: Net Zero (by 2045), energy homes and efficient buildings that are adapted for a changing climate.

\* PLANNING DECISIONS MADE NOW WILL STILL BE IN PLACE BY 2045 + SHOULD BE NET ZERO

5:3...CLIMATE CHANGE & HOUSING.....quote...

"Housing has an important role to play in mitigating climate change. Housing can reduce climate change through using greener technologies such as zero direct emissions heating and promoting greener forms of Construction that better utilise buildings.

\* MODERN UPVC CAN BE UTILISED FOR A GREENER FUTURE

"Fabric first is the principle of a building fabric that retains heat-through a well insulated airtight structure. Taking a fabric first approach to modernisation by focussing on the components & materials that make Up the fabric of the building"

\* A HOUSE THAT IS WELL INSULATED WITH WALL/ROOF + FLOOR IS OF NO USE IF WINDOWS ARE LEAKING OUT HEAT. WINDOWS HAVE TO BE INCLUDED AS COMPLETE INSULATION OF A PROPERTY.  
ELC . OUR VISION & PRIORITY OUTCOMES ...quote..

"all homes are maintained to a high standard, are energy efficient, and contribute to meeting climate change targets.

ELC planning dept stated by replacing the existing windows with UPVC windows would " be harmful to the character and the appearance of the

house

and this part of North Berwick."

Can I please draw your attention to the enclosed upvc samples of the windows that we propose to install. They are of modern fabric and wood grained to

blend in with existing buildings. The upvc used today is not the old "shiny" cheap looking material of old. This material is used in helping buildings retain heat and reduce emissions.

ELC. state that you are using for guidance Sect 64 of the Planning ( listed buildings & conservation areas) Scotland Act 1997.


This Act is now 27:years old and Climate Change was not on the agenda then.

I feel we as a combined group, home owners, planning and housing we should all take a responsible look to our future. Which does not mean we should

drop standards but maybe we should all start to realise that the future is in our hands.

~~Sent from my iPad~~

Sincerely



11 FORTH STREET  
NORTH BERWICK  
EH39 4HX

ND. important detail # 23/01010/P



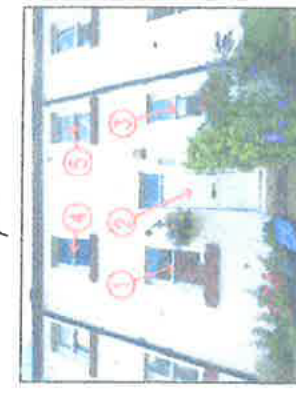
Exist' Front Elevation 1  
NTS



Exist' Front Elevation 2  
NTS



Exist' Front Elevation 3  
NTS



Exist' Front Elevation 4  
NTS



Exist' Front Elevation 5  
NTS



Exist' Kitchen Window  
Elevation NTS



Exist' Front Door  
Elevation NTS



Exist' WC Window  
Elevation NTS



Exist' Bedroom Window  
Elevation NTS



Exist' Bathroom Window  
Elevation NTS



Photo Of Proposed Cotswold Glass  
N.T.S.



Location Plan 1: 1250



(2) Cotswold glass.

**Existing Window Specifications:**  
All existing windows are all single glazed white painted timber 50/50 split Sash n Case products. Windows (1 & 4) fitted with clear glass. Windows (3 & 5) fitted with obscure glass. See photographs of existing above.

**Proposed Window Specifications:**  
Windows are all white (to match existing) Woodgrain uPVC D/G 50/50 split Sash n Case style windows. Windows (1 & 4) are fitted with Clear glass. Windows (3 & 5) are fitted with Cotswold glass. See photo of Cotswold glass.

**Existing Door Outline Specifications:**  
Existing Front door (2) is white painted 6 panel timber product with white frame and single glazed fan light above. Fan light glass to existing fan light is obscure. See photographs of existing above.

**Proposed Door Specifications:**  
Proposed Front door (2) is painted white (externally) uPVC 6 panel (in keeping with original door design) Composite slab product with white Woodgrain frame and D/G fan light above. Front door fitted with Gold Letterbox & Handle. Cotswold glass fitted to fan light above door.

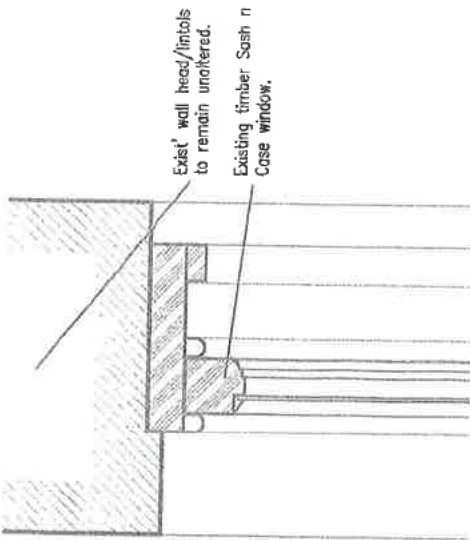
**Bryant Cairns**  
2/1 The Quadrant, North Berwick, East Lothian, Midlothian, EH39 4HX  
Tel: 0131 4420 400  
Fax: 0131 4420 200

**Proposed Window & Door Replacement**  
at: 15 Forth Street, North Berwick, EH39 4HX  
for: Mrs W. Shaw

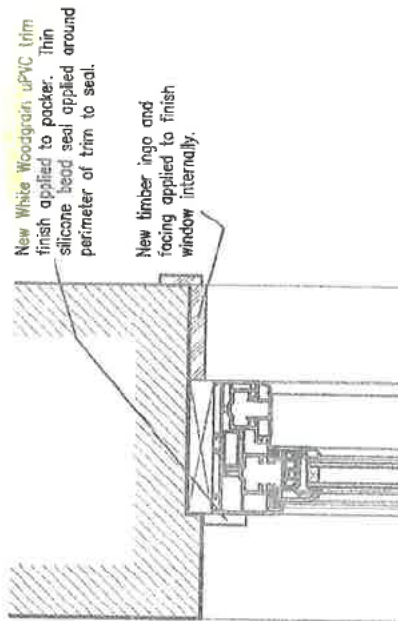
Words: **Revisor**  
Drawing title: **Existing Elevations & Location Plan**

Drawing no: **W10412/01**    produced: **TO**    date: **10.01.24**    scale: **See dwg**

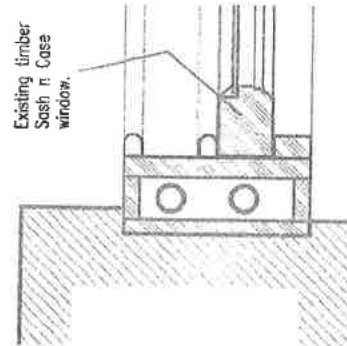
Elevation Denotes  
Proposed Front Door NTS



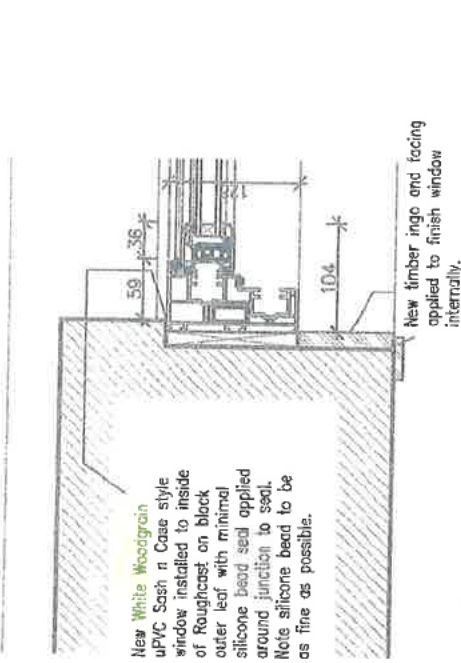
Typical Existing Window To Lintel Detail 1: 5



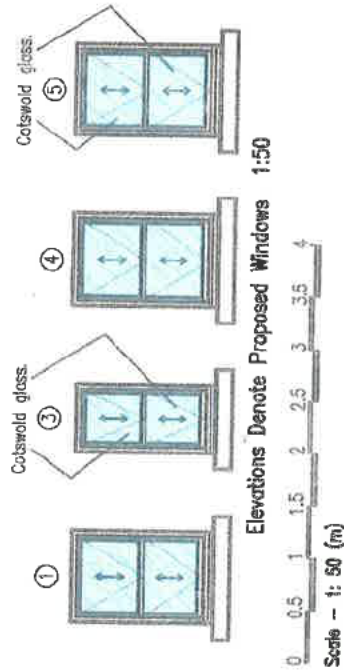
Typical Proposed Window To Lintel Detail 1: 5



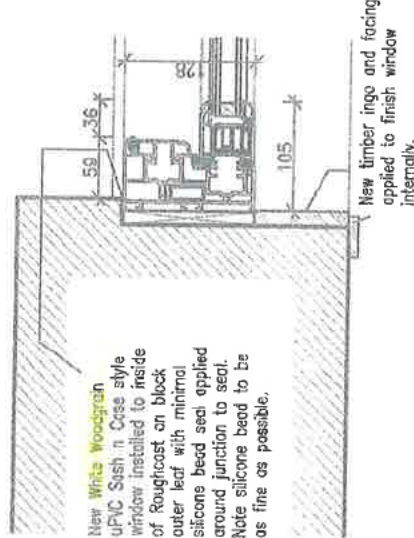
Typical Existing Cill To Window To Jamb Detail 1: 5



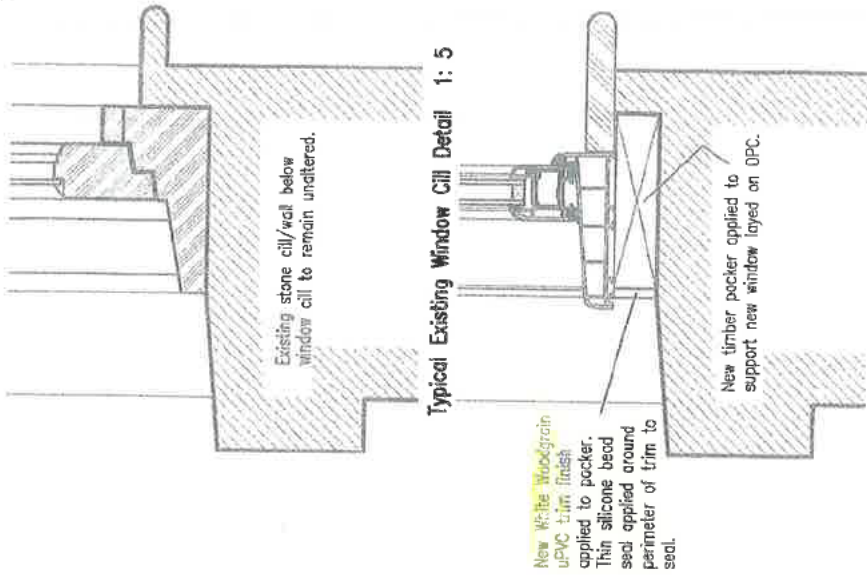
Typical Proposed Window To Jamb Detail High Level 1: 5



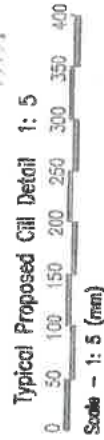
Elevations Denote Proposed Windows 1:50



Typical Proposed Window To Jamb Detail Low Level 1: 5




Typical Existing Window Cill Detail 1: 5



Typical Proposed Cill Detail 1: 5

Scale -- 1: 5 (mm)



2/3 Darnleyhill View  
Aberdeenshire, Aberdeenshire  
Aberdeenshire, Scotland  
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**Proposed Window & Door Replacement**  
**at: 15 Forth Street, North Berwick, EH39 4HX**  
**for: Mrs W. Shaw**

Works: \_\_\_\_\_  
 Drawing title: Existing, Proposed Window Details & Elevations

Drawing no:	revision:	drawn by:	date:
W10412/02	10	TD	10.01.24
number:	See drg		