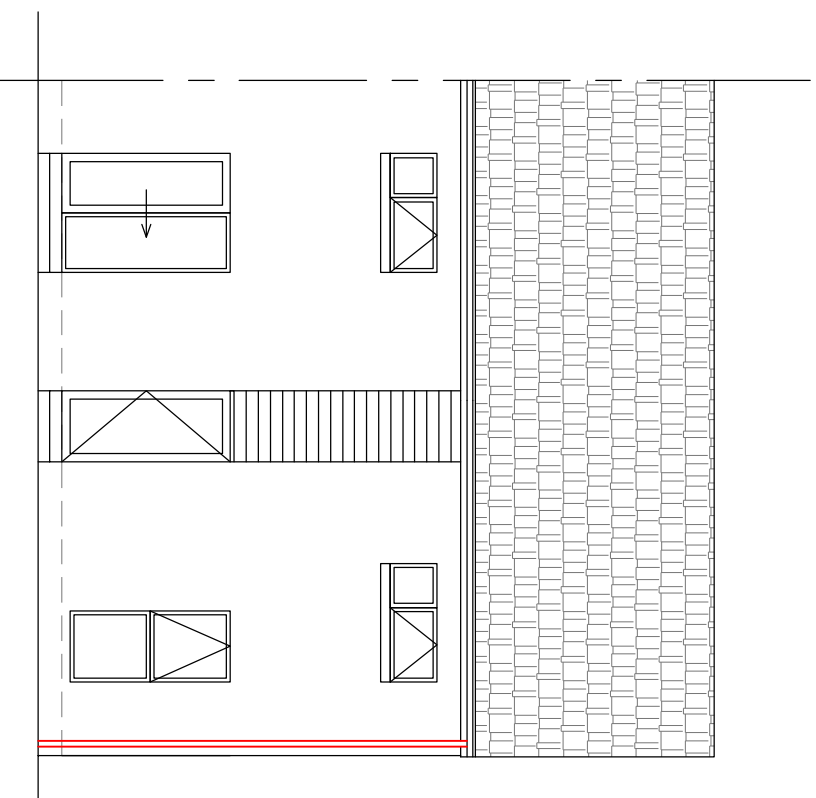
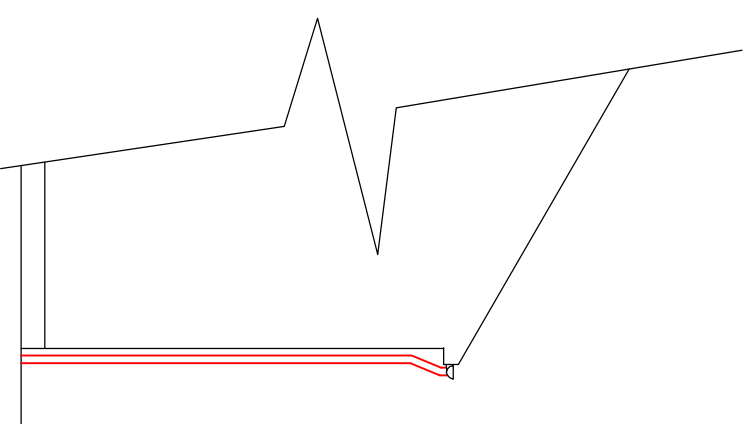


Existing LHS Elevation Scale 1:100



Existing Rear Elevation Scale 1:100



Existing RHS Elevation Scale 1:100

For scope of works by Lochinvar refer to survey specification.  
All other works by others (Client's Contractor).

**Products and Processes are to be in accordance with the relevant British Standards and manufacturers' guidance**

- All workmanship to BS 8000
- All building work to comply with the building standards (Scotland) regs, the small building guide & BS8103.
- All glazing to BS6262 part 4: 2005.
- All glass toughened to BS 6206-A.
- Insulated dpc's fitted at all junctions and abutments to prevent cold bridging.
- All concrete grade C30
- All timber grade C16
- Space heating controls fitted in accordance with BRECSU
- GPG 143 "Wet Central Heating"
- Pipes ducts & vessels insulated in accordance with BS5422



Dunfermline Showroom, Dobbies Garden World,  
Whimbrell Place, Dunfermline. KY11 8EX.  
E-Mail: mark@lochinvar.co.uk Tel: 01383 544 010

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**CLIENT** Mr & Mrs Johnstone  
6 Carlawerock Crescent  
Tranent

**TELEPHONE** 01875 611 164 **POSTCODE** EH33 2DZ

**PROJECT SPECIFICATION**  
Proposed Erection Of Heated Orangery  
To Rear Of Dwelling

**CONTRACT No** Jon12813 **DRAWING No** 001

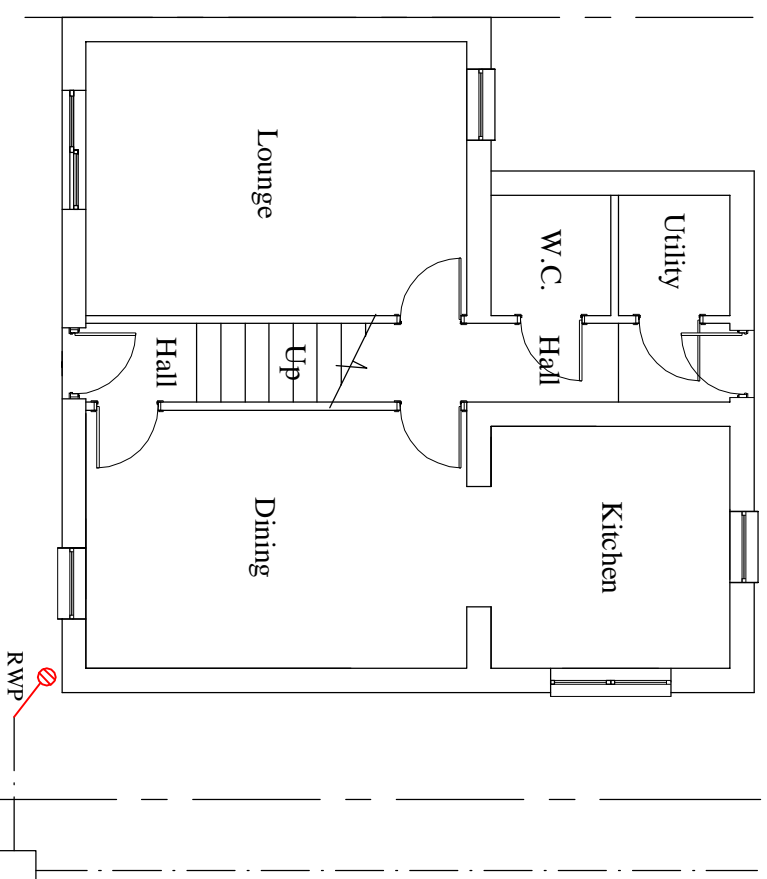
**DRAWING BY** Mark Mackenzie

**SCALE** As Illustrated **DATE** 21st October 2013

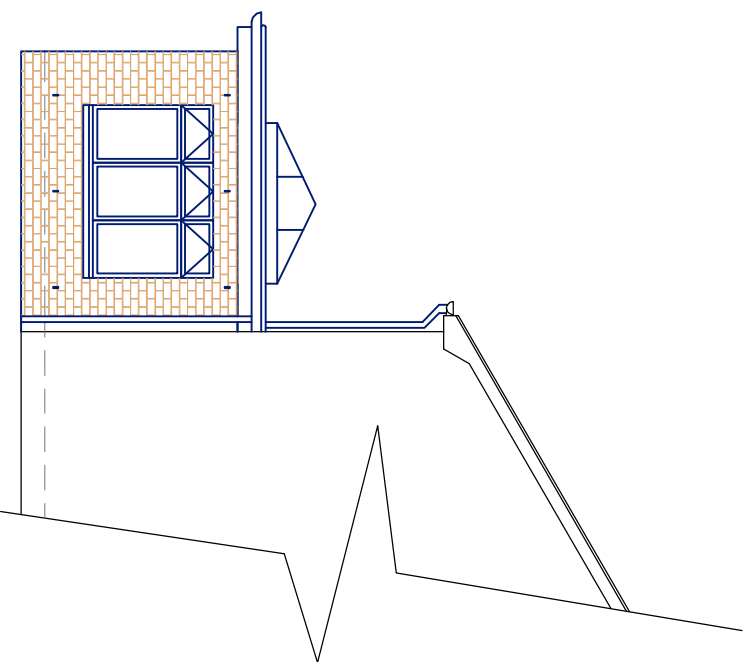
**REVISIONS**  
**BOXED IN MAGENTA**

WE CERTIFY THAT THIS IS A TRUE AND ACCURATE PLAN OF THE WORKS REFERRED TO IN THE APPLICATION FOR WARRANT / PLANNING CONSENT.

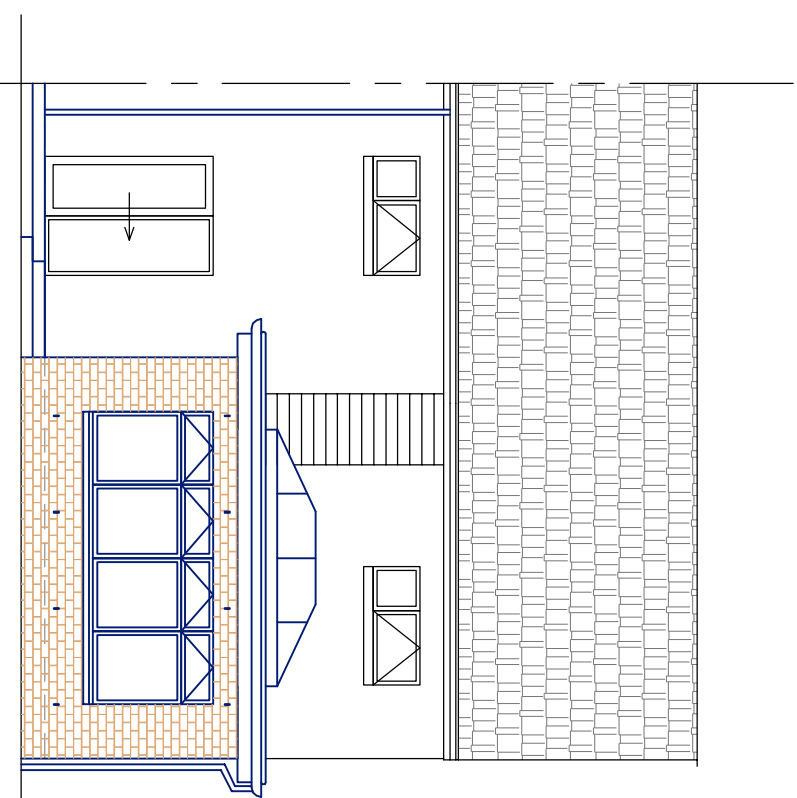
**SIGNED**..... **DATE**.....



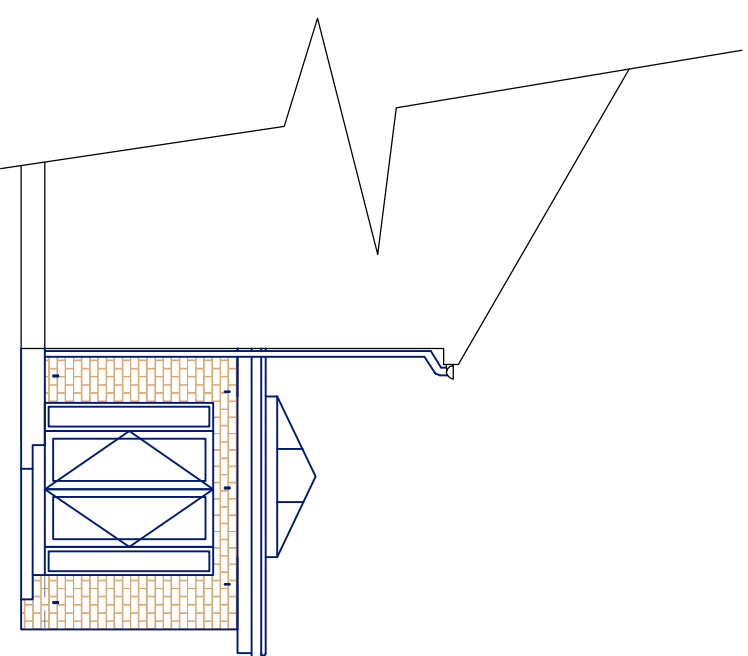
Existing Floor Plan Scale 1:100



Proposed LHS Elevation Scale 1:100



Proposed Rear Elevation Scale 1:100



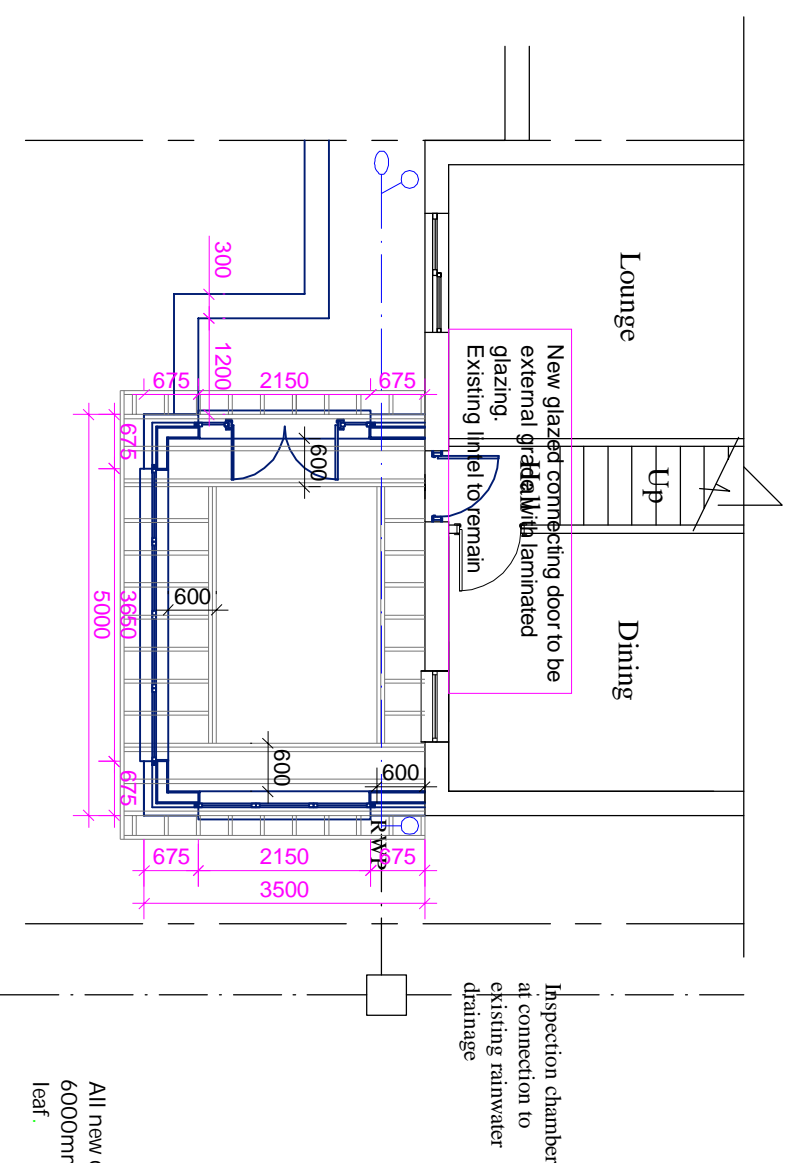
Proposed RHS Elevation Scale 1:100

All Window U-Value's = 1.3 W/m<sup>2</sup>K  
 Door U-Value = 1.3 W/m<sup>2</sup>K  
 (All windows and Doors to be draught striped and sealed. All new doors to be provided with 6000mm<sup>2</sup> trickle ventilation per leaf.)

External finish facing brick to complement existing render.  
 New windows to be white UPVC.  
 Facia boards and soffits to be white UPVC  
 Flat roof to have Firestone roofing membrane top layer  
 Cupola roof to have white powder coated aluminum frames.  
 Blue tinted self cleaning glass

**DRAINAGE**  
 ALL DRAINAGE TO BE TO THE SIGHT AND SATISFACTION OF THE LOCAL DRAINAGE INSPECTOR AND TO COMPLY WHOLLY WITH THE CURRENT BUILDING REGULATIONS TECHNICAL HANDBOOK(SCOTLAND) 2004.  
 ALL BELOW GROUND DRAINAGE TO COMPLY WITH **BS EN 12056-1:2000, BS EN 752-3:1997, BS EN752-4:1998** AND **BS EN 1610:1998**.  
 ALL RAINWATER PIPES AND GUTTERING TO COMPLY WITH **BS EN 12056-3:2000**.  
 NEW DRAINS TO BE 100mm DIAMETER PVCU PIPE BEDDED IN PE4 GRAVEL.  
 GUTTERS 120 X 70mm DEEP FLOW IN PVCU, TO 60mm SECTION DOWNPIPE.  
 HANDHOLE TO BASE OF NEW RWP.  
 ALL DRAINAGE INSTALLATIONS IN ACCORDANCE TO MANUFACTURERS INSTRUCTIONS.  
 DRAINS TO BE INSTALLED AT A GRADIENT OF 1 IN 60 AND TO HAVE A MINIMUM 200mm FROST COVER.

**DRAINAGE**  
 NEW RAINWATER DRAINAGE TO CONNECT INTO EXISTING DRAINAGE WITH A TRAP PRIOR TO CONNECTION, INSPECTION CHAMBER AT CONNECTION.  
 ALL DRAINAGE TO BE CHECKED BY A BUILDINGS STANDARDS SURVEYOR PRIOR TO BACKFILL.



Proposed Floor Plan Showing Roof light Position and Joist Layout Scale 1:100

All new doors to be provided with 6000mm<sup>2</sup> trickle ventilation per leaf.



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 Trarant

**TELEPHONE** 01875 611 164  
**POSTCODE** EH33 2DZ

**PROJECT SPECIFICATION**  
 Proposed Erection Of Heated Orangery  
 To Rear Of Dwelling

**CONTRACT** No Jon12813 **DRAWING** No 002

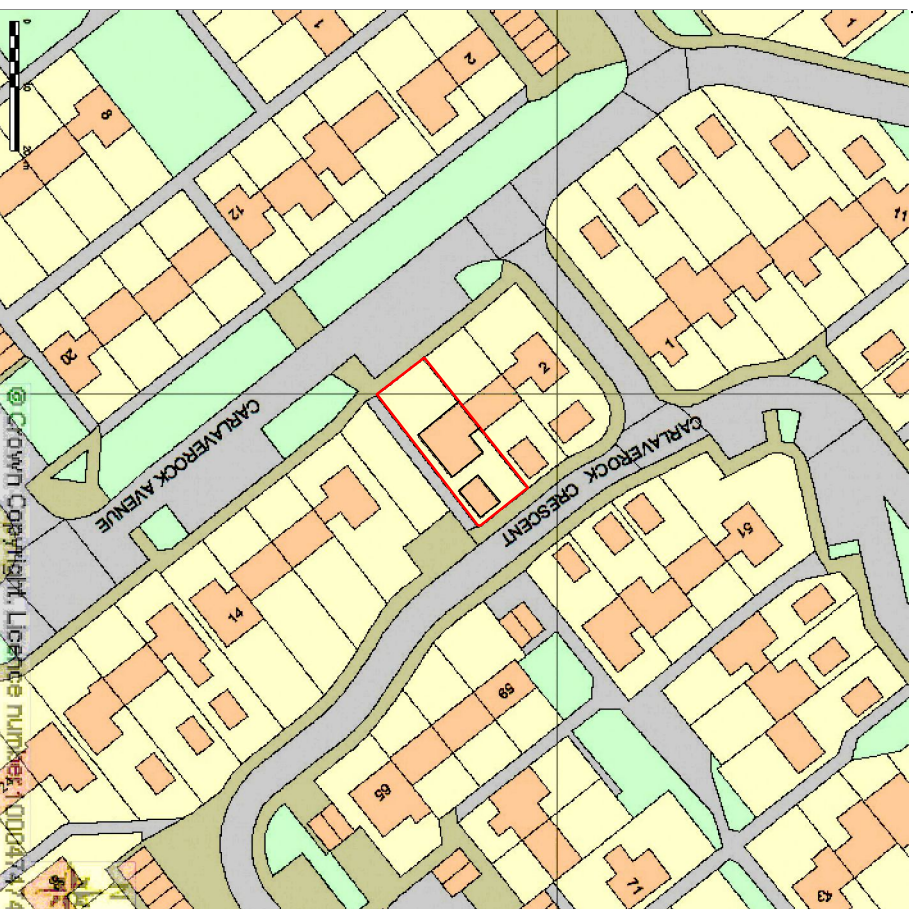
**DRAWING BY** Mark Mackenzie

**SCALE** As Illustrated **DATE** 12th August 2013

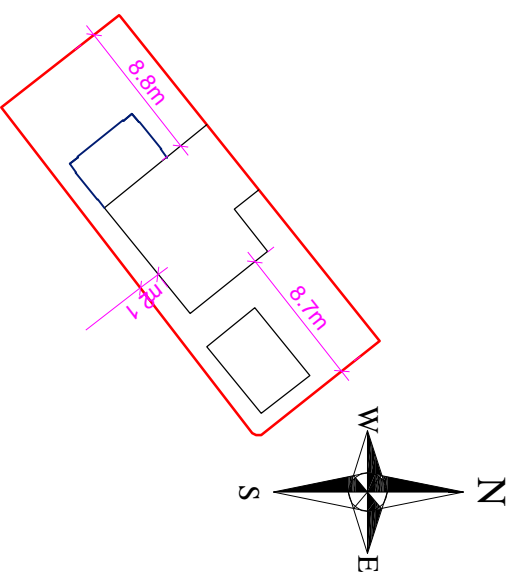
**REVISIONS**

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SIGNED:..... DATE:.....



Location Plan Scale 1:1250



Block Plan Scale 1:500

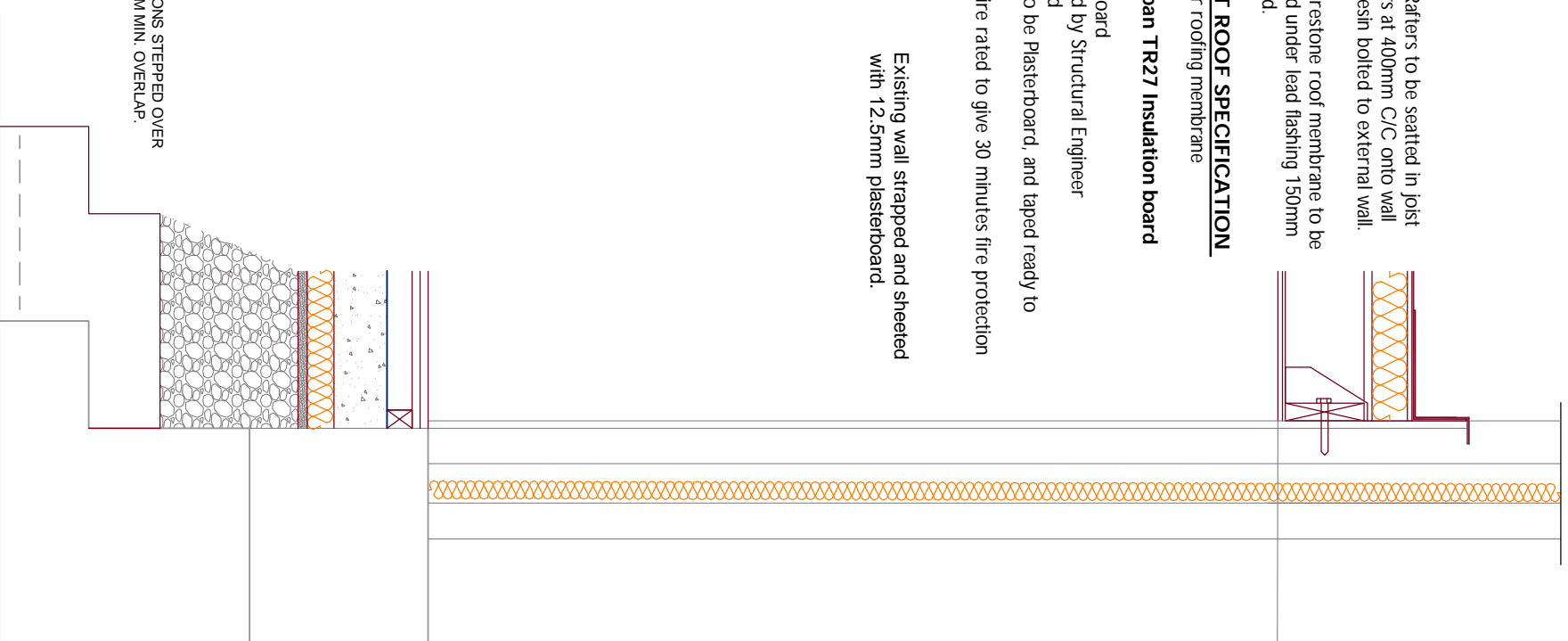
New Rafters to be seated in joist hangers at 400mm C/C onto wall plate resin bolted to external wall.  
New firestone roof membrane to be dressed under lead flashing 150mm upstand.

**FLAT ROOF SPECIFICATION**

- Firestone rubber roofing membrane
- 12mm Ply
- 120mm Kingspan TR27 Insulation board
- Vapour Barrier
- 22mm t&g chipboard
- Joists as specified by Structural Engineer
- 12m plasterboard
- Internal ceiling to be Plasterboard, and taped ready to decorate
- Roof to be AA fire rated to give 30 minutes fire protection

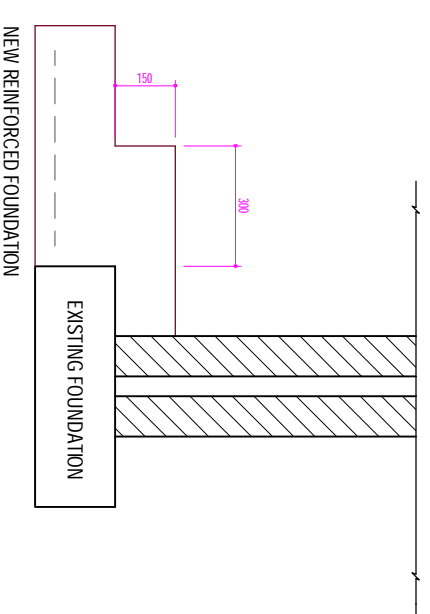
Existing wall strapped and sheeted with 12.5mm plasterboard.

NEW FOUNDATIONS STEPPED OVER EXISTING, 300MM MIN. OVERLAP.



SECTION AA (SCALE 1:20)

CODE 4 LEAD FLASHING DRESSED OVER FIRESTONE ROOF MEMBRANE AND MASTIC SEALED AND DRESSED MIN150mm UP EXISTING HOUSE WALL. HOUSE WALL TO BE RAGGLED AS SHOWN, LEAD INSERTED AND SEALED WITH SILICONE.



FOUNDATION ONTO EXISTING DETAIL (SCALE 1:20)



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**PROJECT SPECIFICATION**  
Proposed Erection Of Heated Orangery  
To Rear Of Dwelling

**CONTRACT** No Jon12813 **DRAWING** No 003

**DRAWING** BY Mark Mackenzie

**SCALE** As Illustrated **DATE** 12th August 2013

**REVISIONS**

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SIGNED:..... DATE:.....