



Rentokil
Property Care

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Mr G Armet
Richard Murphy Architects
The Breakfast Mission
15 Old Fishmarket Close
Edinburgh
EH1 1RN

a Rentokil Initial company



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11th October 2007

Reference: CD/RK/CB
Enquiry No:0501/9C11143

Mr G Armet
Richard Murphy Architects
The Breakfast Mission
15 Old Fishmarket Close
Edinburgh
EH1 1RN

<p><u>Property Address</u> The Abbey Church High Street Dunbar EH42 1EN</p>

Dear Mr Armet,

Following my survey of the above property on the 3rd October 2007, I am pleased to enclose our detailed Survey Report.

This Survey Report has been sub-divided into convenient sections so that you may easily find details of the survey, the recommendations for treatments, the quotations and other useful information.

I will contact you within the next few days in case there are any points you wish to discuss. In the meantime, you may contact Mr R Kirkpatrick on 0131 3362699 (home) or Mr C Blair on 01324 620424 (office).

As soon as we receive your signed acceptance, arrangements will be made to undertake the work.

Yours sincerely

PP


R Kirkpatrick CSRT CSSW
Surveyor

a Rentokil Initial company

THE SURVEY

In accordance with your specific instructions, we carried out a survey of the undermentioned parts of the above property on the 3rd October 2007. Our findings and recommendations are set out below and should be read in conjunction with the enclosed General Notes for clients and Health and Safety precautions.

ORIENTATION

The terms left, right, front and rear are used as if facing the front elevation of the building from outside.

SCOPE OF SURVEY

We must draw to your attention that our survey was solely to identify evidence of apparent woodworm, fungal decay and rising damp in those areas that we were requested to inspect.

EXTERNAL INSPECTION

The external inspection was restricted to the items referred to below.

External ground levels

The external ground level is below internal floor level to all elevations.

Underfloor ventilation

There are four open air vents in the external walls and their function is to ventilate the underfloor area of the suspended timber floors. This number of air vents is insufficient for the purpose and you should arrange for the ventilation to be increased. No allowance has been made for this work in our quotation.

External walls

The external walls are of masonry cavity construction.

Building defects

The roof coverings, rain water goods, chimney heads, masonry, pointing and external joinery timbers are all in need of attention.

Recommendations

You should arrange for your own contractors to inspect the above defects and repair as necessary. No allowance has been made for this work in our quotation.

INTERNAL INSPECTION

The internal inspection was restricted to the items referred to below.

Ground floor**Hall****Floors****Front room left**

The floors are of a solid construction and are not included in our survey.

Joinery timbers/Walls

There is evidence of attack by the true Dry Rot Fungus to the skirtings, partition windows, lathe and strapping. The cause of the attack by wood-rotting fungi would appear to be water ingress through defective building fabrics. Visual evidence, confirmed by instrumental readings, indicates a problem of penetrating damp through the walls.

Note

You should arrange for the removal of the internal partitions, the electrics, the wall and ceiling plaster. No allowance has been made for this work in our quotation.

Recommendations**Joinery timbers/Walls**

We will carry out the following treatment.

- (1) Brush down all walls.
- (2) Apply Control Fluid SB to the exposed wall masonry.
- (3) Install the Rentokil horizontal damp proofing system in the area of the walls marked on the attached sketch plan.
- (4) Form vertical isolations.
- (5) Form wall floor joint.
- (6) Apply the Rentokil wall-tanking system to the walls marked on the attached sketch plan.
- (7) Leave ready for others.

Front room right**Floors/Joinery timbers/Walls****Main hall (including storerooms)**

There is evidence of attack by Wet Rot Fungi and by the true Dry Rot Fungus to the wallplates, wall bearing joists, flooring, skirtings, lining boards, lathe and strapping and wall fabrics. The cause of the attack by wood-rotting fungi would appear to be water ingress through defective building fabrics. There is no visual evidence to indicate a problem of rising damp in the walls and this was confirmed by instrumental readings.

Rear room centre

Note The main supporting columns sit on concrete blocks and are built into lead shoes. Instrumental readings suggest that these are at risk due to their moisture content even though they show no visible signs of fungal decay at this time. The moisture contents recorded were in the range 22% w/w to 28% w/w.

Note You should arrange for the removal of the heaters, wall and ceiling coverings and partitions. No allowance has been made for this work in our quotation.

Recommendations We will carry out the following treatment.

- (1) Remove flooring, joists and wallplates as shown on sketch and dispose.
- (2) Brush down all walls.
- (3) Clear all debris from the exposed solum.
- (4) Replace the wall plate and protect it with a damp proof membrane, as necessary.
- (5) Supply and fit new pretreated joists from the external wallheads back to dwarf wall protecting the wall being ends with Control Paste SB and a damp proof membrane.
- (6) Drill and inject base of supporting columns with Control Fluid SB.
- (7) Apply Control Fluid SB to the remaining sub floor timbers.
- (8) Lay new pretreated 28mm tongue and groove flooring.
- (9) Leave ready for others.

Rear entrance hall

Floors/Joinery timbers/Walls/Exposed beams

Rear roof

There is evidence of attack by Wet Rot Fungi and by the true Dry Rot Fungus to the flooring, joists, lining boards, wall fabrics, flat roof timbers and door linings.

Note You should arrange for the removal of the wall coverings, roof coverings, doors, stops, standards and architraves. No allowance has been made for this work in our quotation.

Recommendations

We will carry out the following treatment.

- (1) Remove sarking boards up 1.5 metres from right hand elevation wallhead.
- (2) Lift flooring and dispose.
- (3) Support exposed rafters and joists as required and cut back to a distance of 1 metre.
- (4) Remove flat roof coverings over rear hallway including exposed beams and wallplates and dispose.

- (5) Brush down all walls.
- (6) Apply Control Fluid SB to the exposed wall masonry.
- (7) Replace the wall plate and protect it with a damp proof membrane, as necessary.
- (8) Apply fungicidal paste to the cut ends of the original joists.
- (9) Provide and bolt new timbers to the existing joists, protecting the wall bearing ends including flat roof with a fungicidal paste and damp proof membrane.
- (10) Supply and fit new sarking boards.
- (11) Supply and fit new pretreated joist protecting the wall bearing ends with Control Paste SB and a damp proof membrane.
- (12) Lay new floorboards, where removed.
- (13) Leave ready for others.

Left & right stairs

Floor

The floor is of a solid construction and is not included in our survey.

Joinery timbers

There is evidence of attack by Wet Rot Fungi and by the true Dry Rot Fungus to the lining boards, ceiling timbers and wall fabrics.

Note

You should arrange for removal of the lining boards, ceiling timbers and wall fabrics. No allowance has been made for this work in our quotation.

Recommendations

We will carry out the following treatment.

- (1) Apply Control Fluid SB to the exposed wall masonry.

First floor balcony

Floor/Joinery timbers/Walls

There is evidence of attack by Wet Rot Fungi and by the true Dry Rot Fungus to the joists, flooring, main supporting beams, lining boards and wall fabrics. The cause of the attack by wood-rotting fungi would appear to be water ingress through defective building fabrics. Instrumental readings suggest that the remaining supporting beams are at risk due to their moisture content even though they show no visible signs of fungal decay at this time. The moisture contents recorded were in the range 22% w/w to 40% w/w.

Note

You should arrange for the removal of the lining boards and wall fabrics. No allowance has been made for this work in our quotation.

Recommendations

We will carry out the following treatment.

- (1) Remove floors and dispose.
- (2) Remove all exposed joists and dispose.

- (3) Remove main supporting beams from the central columns to the external walls as shown on sketch and dispose.
- (4) Apply Control Fluid SB to the exposed wall masonry.
- (5) Supply and fit new supporting beams protecting the wall bearing ends with Control Paste SB and a damp proof membrane.
- (6) Drill and inject remaining supporting beams.
- (7) Leave ready for others.

Note

No allowance has been made for the renewal of any flooring or joists as discussed these floors are to be raised.

Flat roofs

Right & left elevation

Exposed beams

Inspection was limited to accessible areas due to fitted lining boards. There is evidence of attack by Wet Rot Fungi and by the true Dry Rot Fungus to the supporting joists, ceiling joists, sarking boards. The cause of the attack by wood-rotting fungi would appear to be water ingress through defective building fabrics. Instrumental readings suggest that the remaining wall bearing joist ends are at risk due to their moisture content even though they show no visible signs of fungal decay at this time.

Note

You should arrange for the removal of the roof coverings and flashings, ceiling lining boards and arched supports and corbels. No allowance has been made for this work in our quotation.

Recommendations

We will carry out the following treatment.

- (1) Remove sarking boards as necessary and dispose.
- (2) Support the exposed ceiling joists as required and cut back to sound timber.
- (3) Remove the main double supporting beams full width and the wall bearing ceiling joists as shown on sketch plan.
- (4) Provide and bolt new timbers to the existing joists, protecting the wall bearing ends with a fungicidal paste and damp proof membrane.
- (5) Drill and inject remaining wall bearing joist ends to front and rear elevations.
- (6) Fit temporary sarking boards, your own contractor to renew with roof refurbishments.
- (7) Leave ready for others.

Main void The access hatch to the external of the property was nailed shut. Upon opening, the void is full of dead pigeons and droppings, this area will require to be cleaned out before an inspection is possible.

Further inspection It is recommended that a further inspection be made when you have arranged for the removal of the pigeons and also arranged for our technicians to start on site. Upon notification that this has been done, we will return to complete our inspection. A supplementary report and quotation will then be submitted should treatment be necessary.

Note **No allowance has been made within our quotation for scaffolding.**

NOTES

Fungal decay For our specialist work the Rentokil Guarantee cover will be provided when the work has been completed and the account paid in full.

Any Guarantee or insurance cover in respect of fungal decay will be valid when the causes of fungal decay identified in this report are effectively dealt with. If this requires work to be done by parties other than Rentokil, such work must be completed within three months of completion of our treatments, if no other time is specified in our report.

Please note that the cost quoted for the fungal decay work in the attached quotation covers only the work as described in the report and is based upon the evidence readily visible on the surveyor's inspection. It must be made clear, however, that because of the nature of wood-rotting fungi, decay may exist beyond the areas defined in this report; the full extent of the fungal decay may not, therefore, become apparent until work progresses.

In the unfortunate case of further work being found to be necessary, a supplementary report and quotation will be submitted to you for your acceptance.

Fungal decay can spread rapidly – the sooner the work is done the less likelihood there is of any additional work being necessary.

Non-guaranteed work No Rentokil Guarantee or insurance policy is available for our specialist work listed below.

(Sterilisation of masonry)

Hidden timbers In a building of this nature there may be many concealed and inaccessible built-in timbers. We are unable to comment on the condition of any such timbers nor have we allowed for any form of treatment to them in our quotation.

Ancillary items

Unless otherwise stated no allowance has been made in our quotation for the removal and replacement of floor coverings, furnishings, furniture, pipes, radiators, electrical fittings and other items that may obstruct our work. All electrical circuits should be isolated and fittings removed by a qualified electrician.

Tanking

No allowance has been made in our quotation for the removal of any bitumastic type coatings or for any repair to damaged or defective masonry, which may become apparent following the removal of plaster from the walls.

Tanking

The application of a tanking system will result in the tanked area being impervious to moisture. This can result in an increase in the level of condensation in the building. Should condensation occur you should consider improving ventilation or installing a dehumidifier to reduce the condensation to an acceptable level.

Damp proofing

After the installation of a damp proof course the wall will contain a considerable amount of water, which must dry out. The rate at which a wall dries out is dependant on various factors such as the nature, porosity and thickness of the walling material, hygroscopic salts content and the wall finishes. Generally a wall will dry out at a rate of 1 month for every 25mm of thickness. Externally rendered, coated or painted walls may take considerably longer to dry out.

Extent of survey

The areas we have reported upon are those inspected in accordance with your instructions. If there are any omissions or if you believe that we have misinterpreted your survey instruction, please let us know at once. Where treatment has been recommended, unless otherwise stated above, this is on the understanding that the specified area has not previously been treated and guaranteed.

You should be aware that we have reported upon problems evident to us at the time of our visit. We are not commenting in any general sense on the risks of fungal decay or any other defect not evident at this time or that may develop in the future.

Where we have drawn to your attention items that are outside the scope of our survey as defined earlier, these items should be regarded as helpful suggestions and not a full and complete assessment of any problems that may exist.

Please read carefully the content of this report and all of its enclosures.

This survey must not be regarded as a substitute for a structural survey.

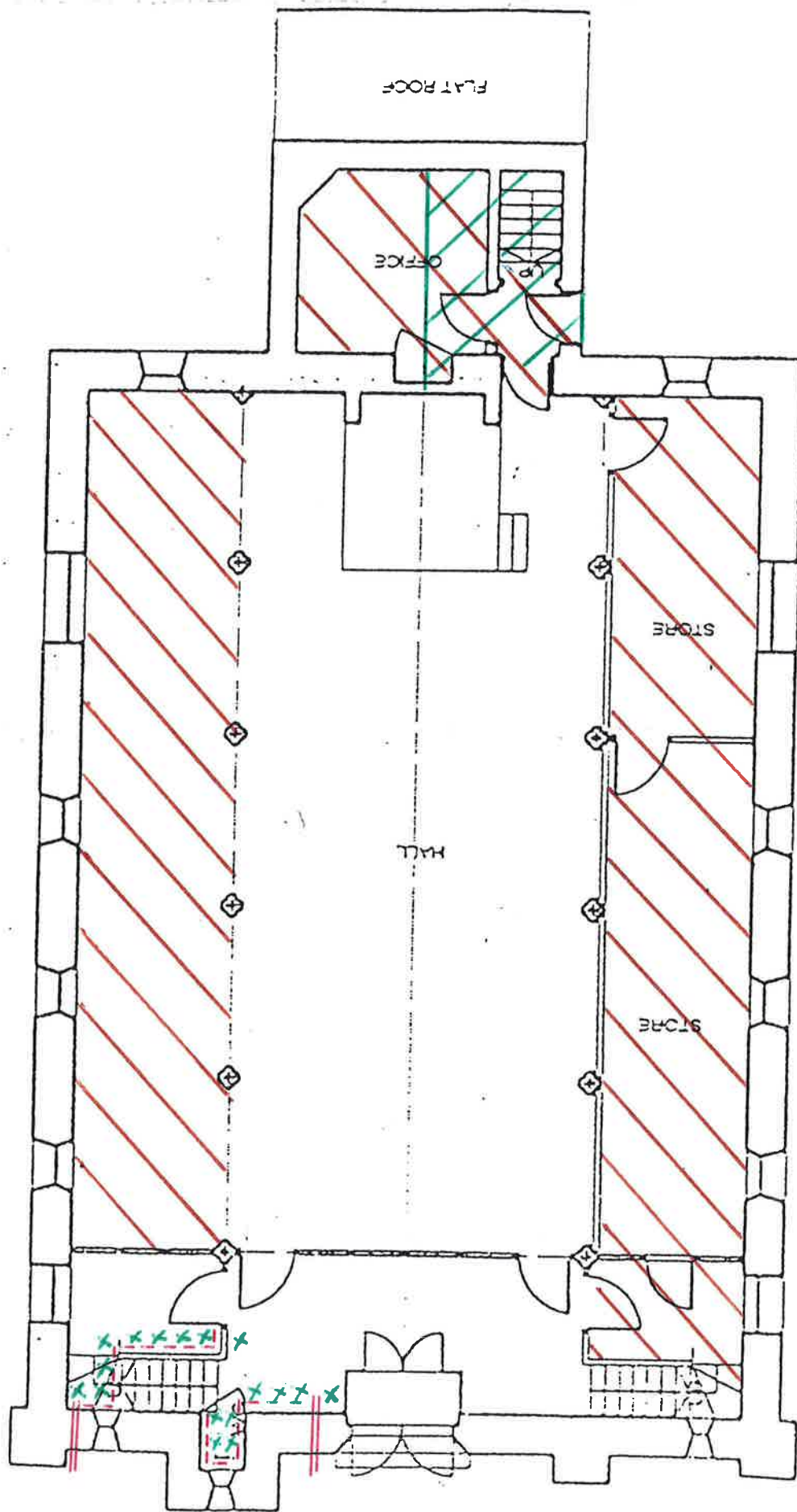
Products used

The Department of the Environment advises that clients should be aware of the products to be used for remedial timber treatments in buildings

We have set out below the products that we intend to use for the treatments referred to in this report

Control Fluid SB

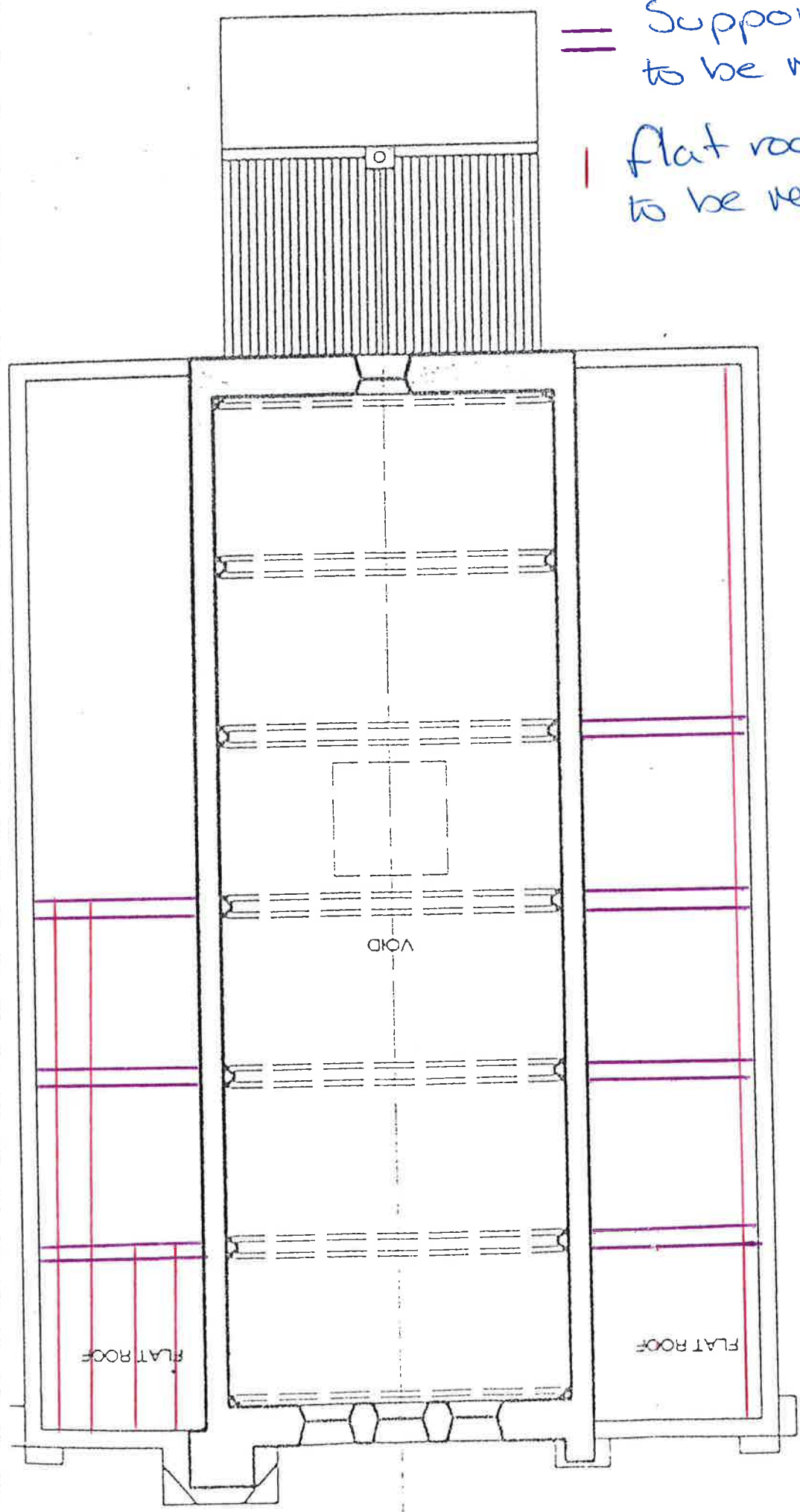
Control Paste SB



- /// Remove flooring + joists
- /// Rafters + Sarking to be removed
- - // Damp proof course
- x x Tanking

== Support Beams
to be removed

| Flat roof joists
to be removed



/// flooring + Joists
Removed

— Support Beams
to be removed

